



PLANNING & ZONING COMMISSION AGENDA

**PLANNING & ZONING COMMISSION
PUBLIC HEARING
THURSDAY, FEBRUARY 22, 2018
9:00 AM**

**COUNCIL CHAMBERS
CITY HALL
201 S. CORTEZ STREET
PRESCOTT, ARIZONA**

The following agenda will be considered by the **PLANNING & ZONING COMMISSION** at its **REGULAR MEETING** to be held on **THURSDAY, FEBRUARY 22, 2018, at 9:00 AM** in **COUNCIL CHAMBERS, CITY HALL**, located at **201 S. CORTEZ STREET**. Notice of this meeting is given pursuant to *Arizona Revised Statutes*, Section 38-431.02.

I. CALL TO ORDER

II. ATTENDANCE

MEMBERS	
Tom Menser, Chairman	George Sheats
Ken Mabarak, Vice-Chairman	Terry Marshall
Joe Gardner	Bill Sim
	Jared Nanke

III. REGULAR AGENDA ITEM

1. PP17-002, 130 North Condominium Preliminary Plat for 8-unit Complex. Zoning: Downtown Business (DTB); APN: 113-15-105; Property Owner: Judy Numbers. Location: 130 N Cortez Street.

IV. SUMMARY OF CURRENT AND RECENT EVENTS

Update of the City Council Approval for the Deep Well Ranch Master Plan

V. ADJOURNMENT

THE CITY OF PRESCOTT ENDEAVORS TO MAKE ALL PUBLIC MEETINGS ACCESSIBLE TO PERSONS WITH DISABILITIES. WITH 48 HOURS ADVANCE NOTICE, SPECIAL ASSISTANCE CAN BE PROVIDED FOR SIGHT AND/OR HEARING IMPAIRED PERSONS AT PUBLIC MEETINGS. PLEASE CALL 777-1272 OR 777-1100 (TDD) TO REQUEST AN ACCOMMODATION TO PARTICIPATE IN THIS MEETING.

CERTIFICATION OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Prescott City Hall and on the City's website on 2/16/18, 2018 at 12:00 p.m. in accordance with the statement filed with the City Clerk's Office.

Maureen Scott
Maureen Scott, City Clerk



PLANNING & ZONING COMMISSION MEMO

MEETING DATE: February 22, 2018

DEPARTMENT: Community Development

AGENDA ITEM: Approval of PP17-002, Preliminary Plat of "130 North Condominiums". creating 8 dwelling units at 130 North Cortez Street; APN 113-15-105. [Zoning: Downtown Business (DTB); Property Owner: Numbers Family, LLC]

Approved By:

Date:

Director:	Guice, Tom	<i>B</i> 2.14.18
Planning Manager:	George Worley <i>GW</i>	2/14/18
Community Planner:		

Item Summary

This is an effort to create 8 condominium units within an existing 3-story (plus basement) building located with the Downtown Business (DTB) zoning district. Commercial and mixed-uses are permitted and, in fact, encouraged in the DTB. To create condominiums, a subdivision plat must be created to delineate both the horizontal and vertical ownership spaces as well as the common areas. The proposed plat clearly sets out the various ownership spaces, which include both residential and commercial spaces.

Background

The building at 130 North Cortez Street dates to approximately 1894 and has housed a variety of commercial uses over the intervening years, including a hotel, apartments and then general commercial uses. Re-purposing our historic building inventory is important to the preservation of the historic nature of downtown. Supporting changes of use through processes like this condominium plat lend important flexibility to property owners in deciding to preserve their buildings.

The proposed condominium will create 6 residential dwelling units and two commercial units, plus common areas for structural and utility purposes. Access throughout the building will be via elevator and stairs in compliance with International Building Code requirements. The renovation work following the plat process will meet all Building and Fire code requirements for buildings containing a mix of residential and commercial uses.

Approval of PP17-002, Preliminary Plat of 130 North Condominiums creating 8 dwelling units at 130 North Cortez Street; APN 113-15-105. [Zoning: Downtown Business (DTB); Property Owner: Numbers Family, LLC]

General Plan & Zoning Map

The 2015 General Plan Land Use Map identifies the area as commercial, which permits a wide variety of uses, both commercial and residential. The Plan encourages preservation of the mix of uses that have traditionally existed in the downtown. Specifically, Section 5.5.1, Goal 2, Strategy 2.1, calls for maintaining and expanding the mix of commercial and residential uses downtown.

Attachments

1. Vicinity Map
2. Revised Master Plan
3. Revised Preliminary Plat

Recommended Action: **MOVE** to recommend approval of PP17-002, 130 North Condominiums.

PRELIMINARY PLAT 130 NORTH CONDOMINIUM

LOT 9, BLOCK 8 (FACING CORTEZ STREET)
CITY OF PRESCOTT ORIGINAL TOWNSITE
(BOOK 4 MAPS AND PLATS, PAGE 22)

SITUATE IN SECTION 33, T14N, R2W,
GILA AND SALT RIVER MERIDIAN,
YAVAPAI COUNTY, ARIZONA
ASSESSOR'S PARCEL NUMBER 113-15-105

OWNER:
NUMBERS FAMILY, LLC.
AN ARIZONA LIMITED LIABILITY COMPANY
JUDY M. NUMBERS
1179 GARDENIA LANE
PRESCOTT, ARIZONA 86305
PHONE: (928) 899-1992

LAND SURVEYOR:
KELLEY/WISE ENGINEERING, INC.
CHRISTOPHER JOHN KIMBALL
146 GROVE AVENUE
PRESCOTT, ARIZONA 86301
PHONE: (928) 771-1730

LEGAL DESCRIPTION:

INSTRUMENT NUMBER 2017-0021252, YAVAPAI COUNTY RECORDER'S OFFICE

LOT 9, BLOCK 8 (FACING CORTEZ STREET), CITY OF PRESCOTT, ACCORDING TO BOOK 4 OF MAPS, PAGE 22, RECORDS OF YAVAPAI COUNTY, ARIZONA.

PHYSICAL ADDRESS:

PER THE YAVAPAI COUNTY INTERACTIVE MAPPING APPLICATION (AND AS POSTED ON-SITE) THE CURRENT ADDRESS FOR THE SUBJECT PARCEL IS 130 N. CORTEZ STREET.

ZONING:

PER THE YAVAPAI COUNTY INTERACTIVE MAPPING APPLICATION THE CURRENT ZONING FOR THE SUBJECT PARCELS IS DOWNTOWN BUSINESS (DTB). NO ZONING AMENDMENT SHALL BE REQUESTED WITH THIS PLAT.

ASSURED WATER SUPPLY NOTE:

THIS CONDOMINIUM IS LOCATED WITHIN THE WATER SERVICE AREA OF THE CITY OF PRESCOTT WHICH IS AN AREA DESIGNATED AS HAVING AN ASSURED WATER SUPPLY PURSUANT TO SUBSECTION B OF ARS 45-576.

BASIS OF BEARING:

THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE CITY OF PRESCOTT SURVEY DATUM. THE LINE SHOWN HAS BEEN SELECTED AS THE LOCAL BASIS OF BEARING.

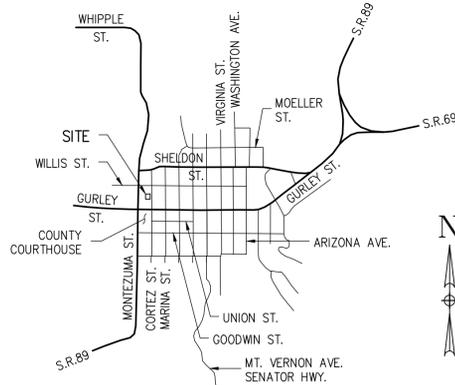
VERTICAL DATUM AND BENCH MARK:

DATUM: NAVD-88
REFERENCE TO ELEVATIONS HEREON ARE BASED ON GPS OBSERVATIONS UTILIZING THE CITY OF PRESCOTT GPS BASE STATION AND THE 99 GEOID MODEL. SEE THE CENTERLINE MONUMENT AT MONTEZUMA AND WILLIS, SHOWN HEREON, FOR THE SITE BENCH MARK.

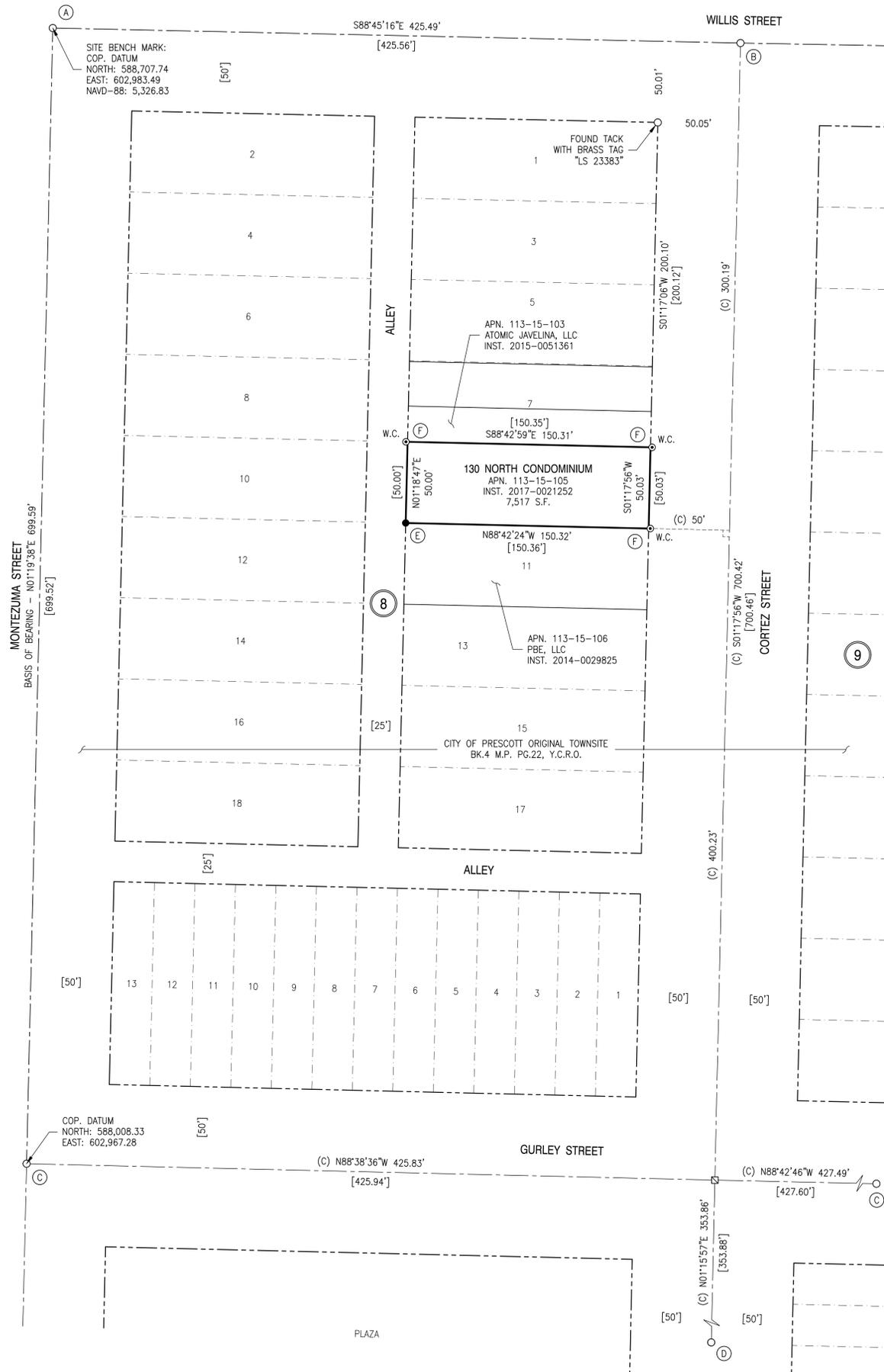
REFERENCE DOCUMENTS:

ON FILE WITH THE YAVAPAI COUNTY RECORDER:

- R1 - PRESCOTT ORIGINAL TOWNSITE: BOOK 4 OF MAPS AND PLATS, PAGE 22.
- R2 - SPECIAL WARRANTY DEED: INSTRUMENT NO. 2017-0021252.
- R3 - RESULTS OF SURVEY: INSTRUMENT NO. 2015-0020866.



VICINITY MAP
PRESCOTT, AZ. N.T.S.



LEGEND:

- FOUND AS NOTED
- SET 1/2" REBAR WITH PLASTIC CAP STAMPED "LS 48100".
- ⊙ SET WITNESS CORNER, AS NOTED.
- ⊠ CALCULATED POINT, NOTHING SET
- [X.XX] DENOTES RECORD DIMENSION PER BLOCK MAP
- (C) CALCULATED DIMENSION
- AC. ACRE
- APN. ASSESSOR'S PARCEL NUMBER
- BK. BOOK
- COP. CITY OF PRESCOTT
- INST. INSTRUMENT NUMBER
- LCE LIMITED COMMON ELEMENT
- L.S. LAND SURVEYS
- M.P. MAPS AND PLATS
- O.R. OFFICIAL RECORDS
- PG. PAGE
- REF. REFERENCE (REFER TO).
- S.F. SQUARE FEET
- V.L.D. VERTICAL LIMIT DIMENSION
- W.C. WITNESS CORNER
- Y.C.R.O. YAVAPAI COUNTY RECORDER'S OFFICE
- Ⓐ SEE MONUMENT NOTES.
- LINE OF THIS SURVEY
- - - LINE OF RIGHT-OF-WAY (EXISTING)
- LINE OF ADJOINING PARCEL, U.N.O.
- - - LINE OF ORIGINAL LOT LINE
- - - LINE OF EASEMENT
- Ⓢ ORIGINAL TOWNSITE BLOCK NUMBER

MONUMENT NOTES:

- Ⓐ FOUND BRASS CAP "LS 48100" IN HAND HOLE.
- Ⓑ FOUND STEEL PIN WITH "+", NO CAP OR TAG IN HAND HOLE.
- Ⓒ FOUND 1/2" REBAR, BENT, NO CAP OR TAG IN HAND HOLE.
- Ⓓ FOUND 1/2" REBAR, NO CAP OR TAG, IN HAND HOLE.
- Ⓔ SET 1/2" REBAR WITH PLASTIC CAP "LS 48100".
- Ⓕ SET MAG NAIL WITH ALUMINUM WASHER "LS 48100" "WC 1.0\"", AS WITNESS, AT 1.00' ON PROLONGATION OF CONDOMINIUM BOUNDARY.

NOTES:

SUBDIVISION IDENTIFICATION SIGNAGE SHALL BE AFFIXED TO THE EXISTING BUILDING. NO FREE-STANDING IDENTIFICATION SIGNS ARE PROPOSED.

FLOOD ZONE DESIGNATION:

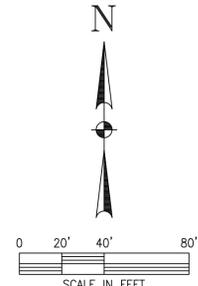
PER FIRM MAP NUMBER 04025C2061G AND 04025C2065G, REVISED SEPT. 3, 2010, THE SUBJECT PROPERTY LIES WHOLLY IN ZONE X (AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.)

LAND USE AREA:

CONDOMINIUM: 7,517 S.F. = 0.17 ACRE

USE DESIGNATION:

- BASEMENT LEVEL
LCE: RESIDENTIAL STORAGE AND ELEVATOR
- FIRST FLOOR LEVEL
LCE: RESIDENTIAL STAIRS AND ELEVATOR
UNITS NB AND R: COMMERCIAL
UNITS 1A AND 1B: RESIDENTIAL
- SECOND FLOOR LEVEL
LCE: RESIDENTIAL STAIRS AND ELEVATOR
UNITS NB: COMMERCIAL
UNITS 1B, 2A, AND 2B: RESIDENTIAL
- THIRD FLOOR LEVEL
LCE: RESIDENTIAL STAIRS AND ELEVATOR
UNITS 3A AND 3B: RESIDENTIAL



SHEET INDEX:
1: LAND BOUNDARY SURVEY - OVERALL
2: LOWER LEVEL AND FIRST FLOOR LEVEL
3: SECOND FLOOR AND THIRD FLOOR LEVEL



130 NORTH CONDOMINIUM
PRELIMINARY PLAT

KELLEY / WISE ENGINEERING, INC.

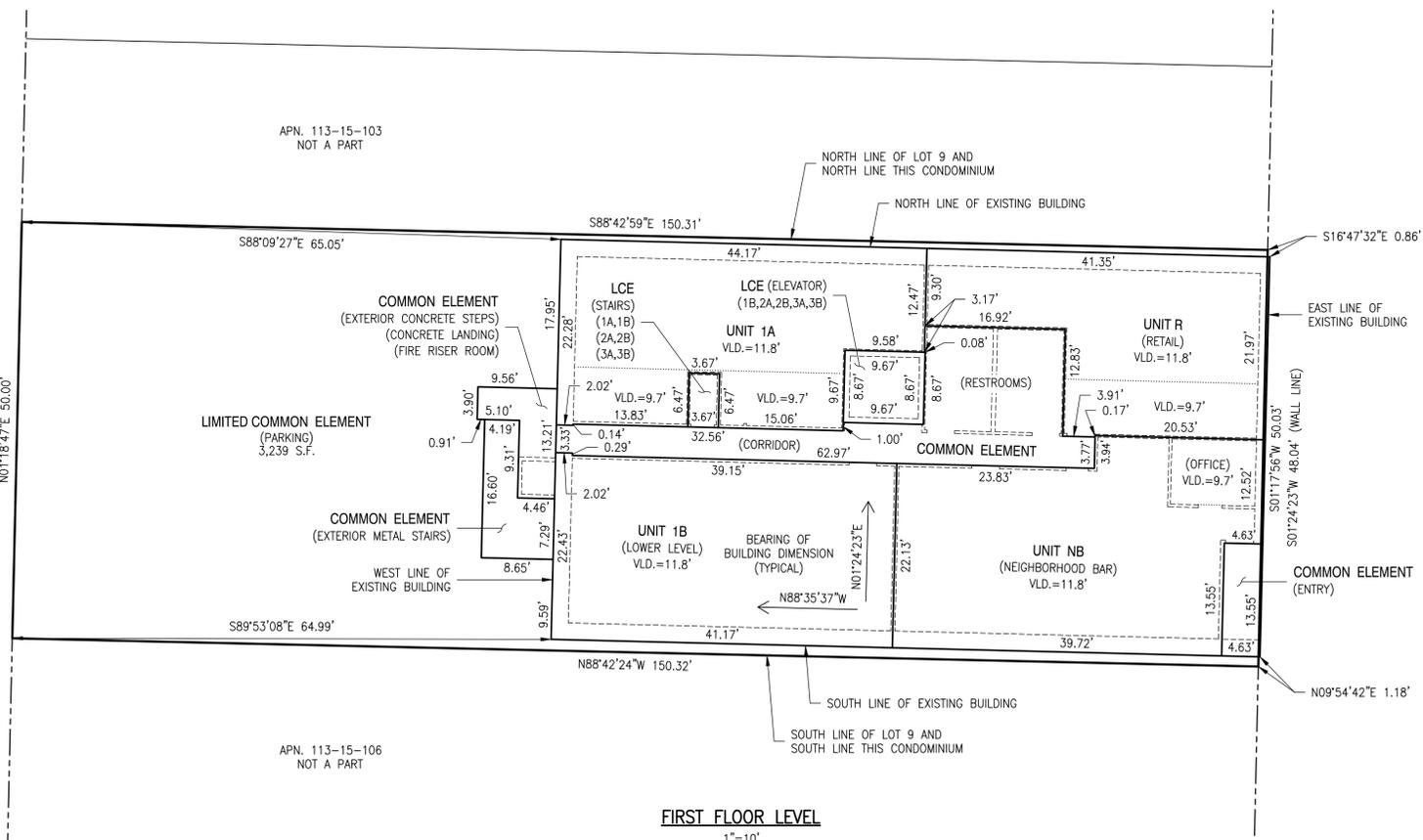
146 GROVE AVENUE
PRESCOTT, ARIZONA 86301
(928) 771-1730
FAX (928) 778-2220

DRAWN	CJK	REVISED
CREW	CK	
CHECK	GRK	
DATE	8.17.17	
JOB	15-090.1	
SHEET NO.	1 OF 3	

[25']

ALLEY

NO11847'E 50.00'



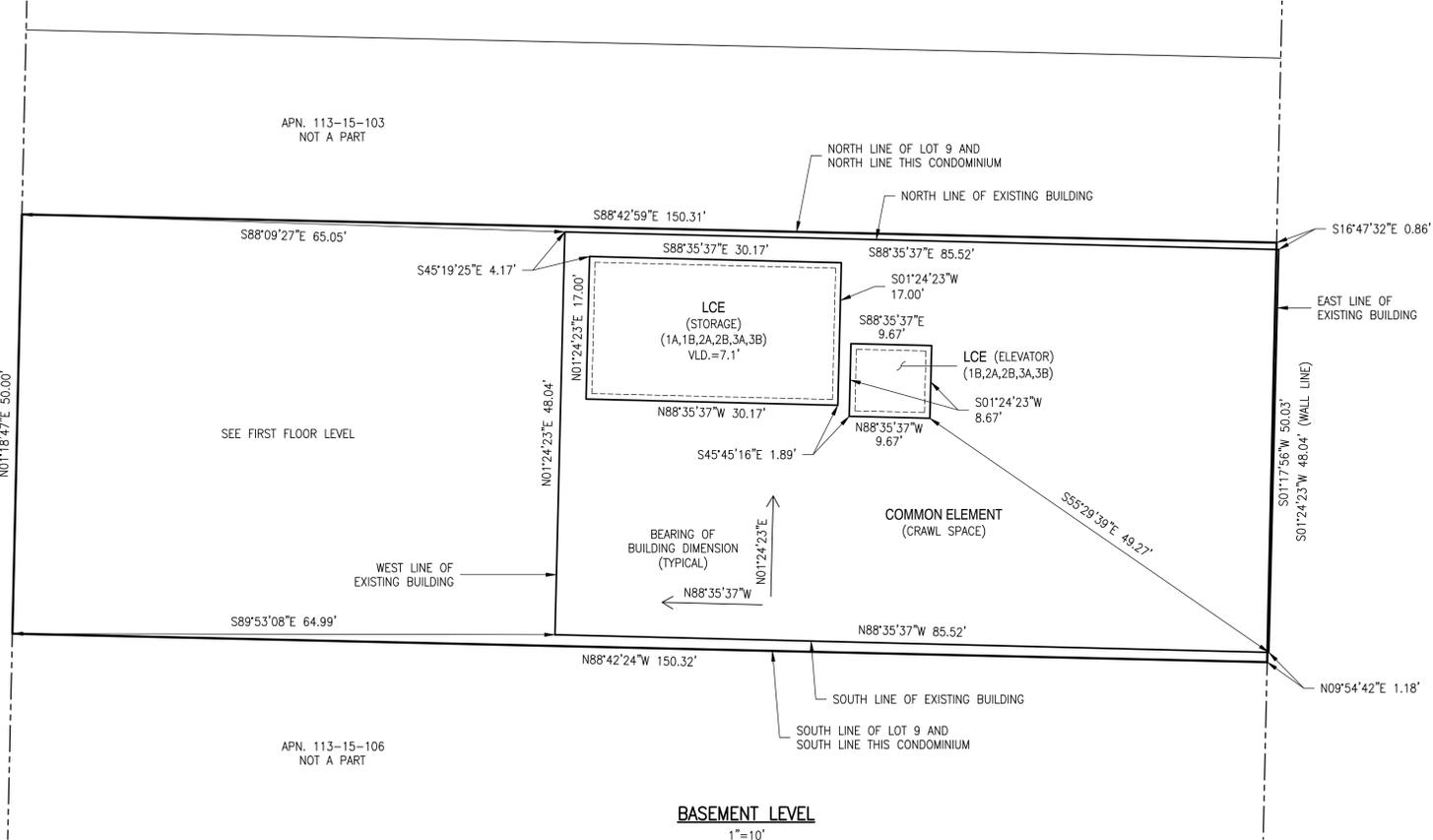
FIRST FLOOR LEVEL

1"=10'

[25']

ALLEY

NO11847'E 50.00'



BASEMENT LEVEL

1"=10'

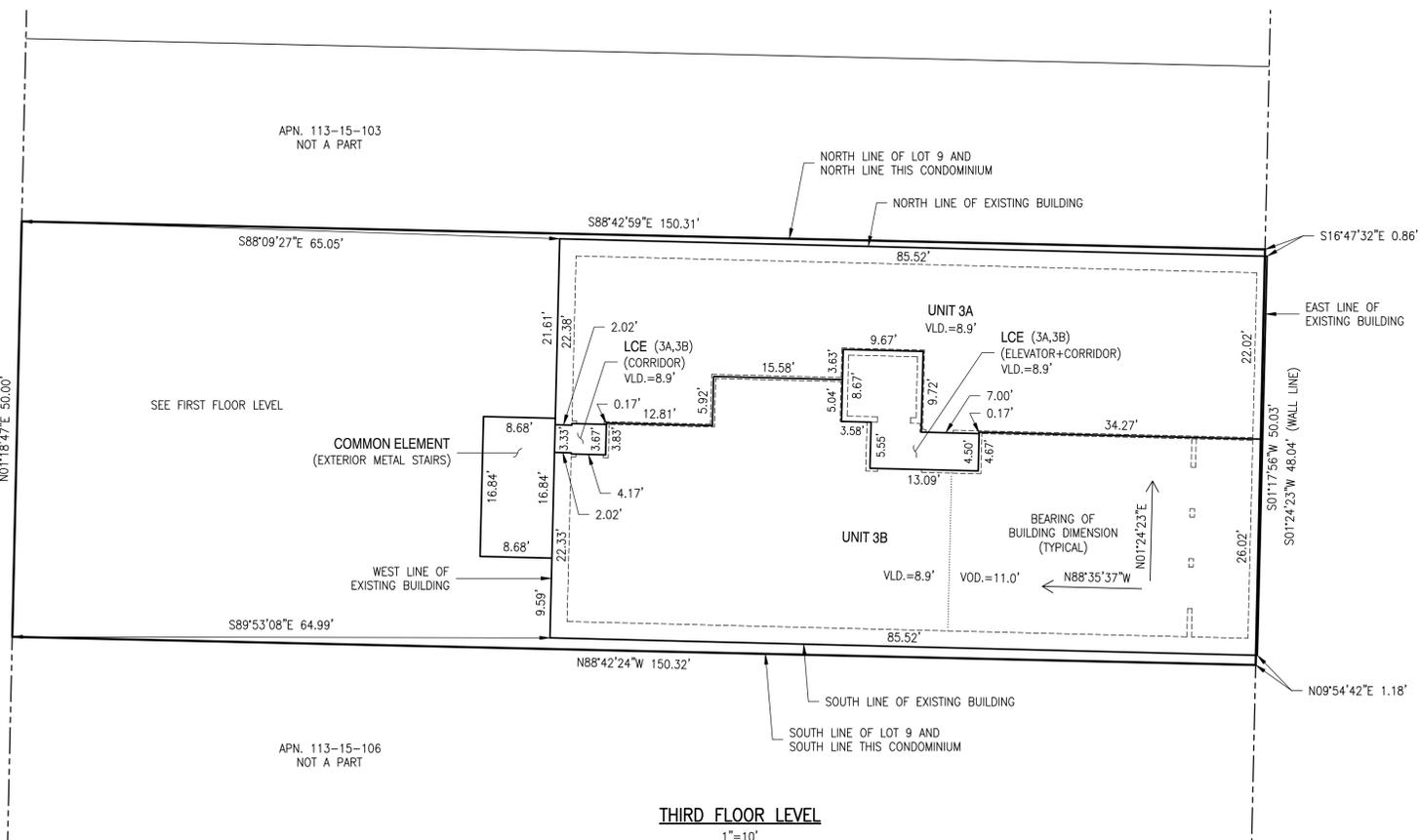
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[25']

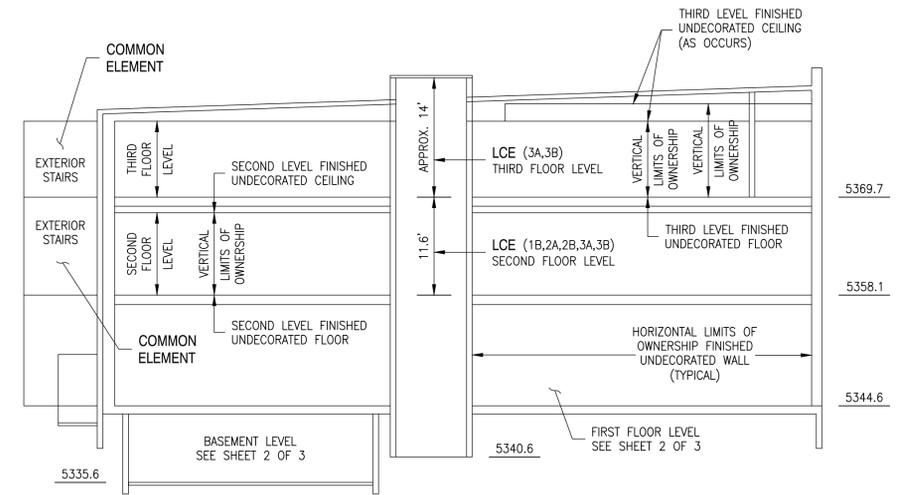
ALLEY

NO11847'E 50.00'



[50']

CORTEZ STREET



VERTICAL DIMENSION TABLE

SECOND FLOOR LEVEL:

UNIT:	VERTICAL DIMENSION:
1B	9.7'
2A	9.7'
2B	9.7'
NB	8.8'

VERTICAL DIMENSION TABLE

THIRD FLOOR LEVEL:

UNIT:	VERTICAL DIMENSION:
3A	8.9'
3B	VARIES 8.9' OR 11.0' AS SHOWN

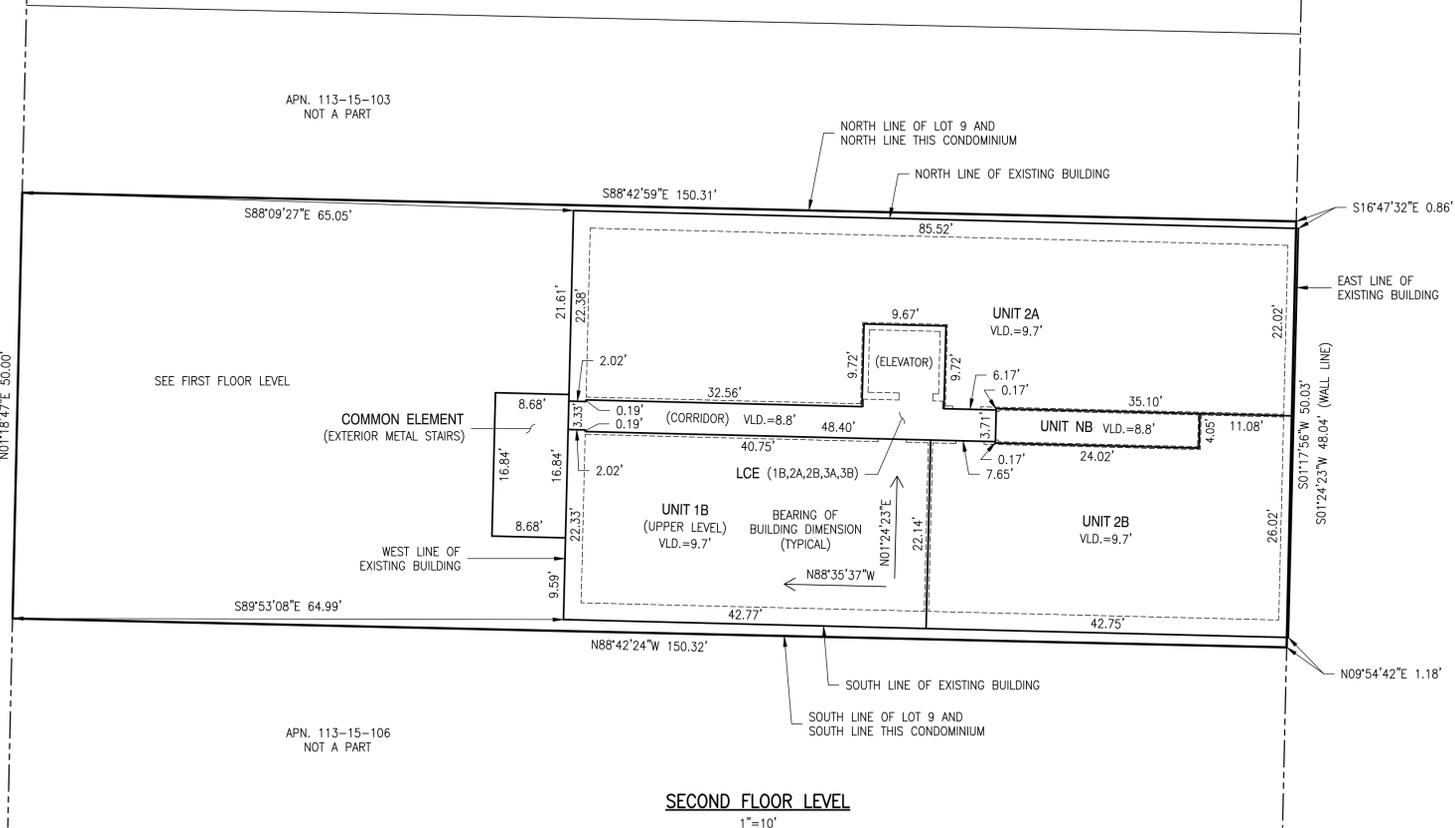
OWNERSHIP SCHEMATIC
N.T.S.

REFER TO THE COVENANTS, CONDITIONS AND RESTRICTIONS FOR 130 NORTH CONDOMINIUM FOR HORIZONTAL AND VERTICAL OWNERSHIP LIMITS

[25']

ALLEY

NO11847'E 50.00'



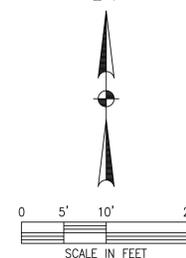
[50']

CORTEZ STREET

LEGEND:

- LCE LIMITED COMMON ELEMENT
- S.F. SQUARE FEET
- VLD. VERTICAL LIMIT DIMENSION
- LINE OF CONDOMINIUM
- - - LINE OF RIGHT-OF-WAY (EXISTING)
- - - LINE OF INTERIOR WALL (APPROXIMATE)
- - - EXISTING OR PROPOSED
- LINE OF VERTICAL LIMIT CHANGE

N



130 NORTH CONDOMINIUM
PRELIMINARY PLAT

KELLEY / WISE ENGINEERING, INC.

146 GROVE AVENUE
PRESCOTT, ARIZONA 86301
(928) 771-1730
FAX (928) 778-2220

DRAWN	CJK	REVISED
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DATE	8.17.17	
JOB	15-090.1	
SHEET NO.	3 OF 3	