



PRESCOTT PRESERVATION COMMISSION A G E N D A

**PRESCOTT PRESERVATION COMMISSION
REGULAR MEETING/PUBLIC HEARING
FRIDAY, April 8, 2011
8:00 AM**

**CITY COUNCIL CHAMBERS
201 S. CORTEZ STREET
PRESCOTT, ARIZONA
(928) 777-1100**

The following agenda will be considered by the **Prescott Preservation Commission** at its **Regular Meeting / Public Hearing** to be held on **Friday, April 8, 2011** in **Council Chambers, 201 S. Cortez Street, Prescott, Arizona** at **8:00 AM**. Notice of this meeting is given pursuant to *Arizona Revised Statutes, Section 38-431.02*.

I. CALL TO ORDER

II. ATTENDANCE

Members

Elisabeth Ruffner, Chairman
Mike Todd, Vice Chairman
Russ Buchanan
John Langellier

Seymour Petrovsky
Doug Stroh
Lee Vega

III. REGULAR AGENDA

- 1. Consider approval of the minutes** of the March 11, 2011 meeting.
- 2. HP11-002**, 207 W Gurley St. Historic Preservation District #1, Courthouse Plaza. APN: 109-02-009. Request for approval of signage for new business, La La's Salon, in existing commercial space of Hotel St Michael's building. Applicant and business owner is Laura OBrien. Historic Preservation Specialist, Cat Moody.
- 3. HP11-003**, 108 W Gurley St. Historic Preservation District #1, Courthouse Plaza. APNs: 113-15-113 & 113-15-112. Request for approval of tenant improvements to the interior of an existing commercial space at 108 W Gurley St. Applicant/agent is D.J. Buttke Architect. Building owner is Annette Williams. Historic Preservation Specialist, Cat Moody.
- 4. HP11-004**, 106 & 108 W Gurley St. Historic Preservation District #1, Courthouse Plaza. APNs: 113-15-113 & 113-15-112. Request for approval to install two new signs- one for The Music Café, and one for Lone Spur Cafe on the Union Block building. Applicant/agent is Empire Sign Co. Building owner is Annette Williams. Historic Preservation Specialist, Cat Moody.

The City of Prescott endeavors to make all public meetings accessible to persons with disabilities. With 48 hours advance notice, special assistance can also be provided for sight and/or hearing impaired persons at public meetings. Please call 928-777-1100 (voice) or (TDD) to request an accommodation to participate in the meeting.

- IV. DISCUSSION REGARDING UNPERMITTED WORK IN HISTORIC OVERLAY DISTRICTS**
- V. UPDATE OF CURRENT EVENTS OR OTHER ITEMS OF NOTE**
- VI. ADJOURNMENT**

CERTIFICATION OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Prescott City Hall and on the City's website on April 1, 2011 at 4:00 PM in accordance with the statement filed with the City Clerk's Office.



Kathy Dudek, Administrative Assistant
Community Development Department

PRESCOTT PRESERVATION COMMISSION
REGULAR MEETING / PUBLIC HEARING
MARCH 11, 2011
PRESCOTT, ARIZONA

MINUTES OF THE OF THE PRESCOTT PRESERVATION COMMISSION REGULAR MEETING / PUBLIC HEARING held on MARCH 11, 2011 at 8:00 A.M. in COUNCIL CHAMBERS located at 201 S. Cortez Street, Prescott, Arizona.

I. CALL TO ORDER

Chairman Ruffner called the meeting to order at 8:00 a.m.

II. ATTENDANCE

MEMBERS PRESENT Elisabeth Ruffner, Chairman Russ Buchanan Seymour Petrovsky Doug Stroh	OTHERS PRESENT George Worley, Planning Manager Cat Moody, Historic Preservation Specialist Ruth Hennings, Community Planner Cherri Letner, Recording Secretary (Kathy Dudek, Administrative Assistant, Transcribing Secretary, <i>in absentia</i>)
MEMBERS ABSENT Mike Todd, Vice Chairman John Langellier Lee Vega	COUNCIL PRESENT Marlin Kuykendall, Mayor (liaison to the Preservation Commission)

III. REGULAR AGENDA

1. Consider approval of the minutes of the December 10, 2010 meeting.

Mr. Petrovsky, **MOTION: to approve** the minutes of the December 10, 2010 meeting with corrections. Mr. Buchanan, 2nd. **Vote: 4-0.**

2. Consider approval of the minutes of the January 14, 2011 meeting.

Mr. Stroh, **MOTION: to approve** the minutes of the January 14, 2011 meeting with corrections. Mr. Buchanan, 2nd. **Vote: 4-0.**

3. **HP11-001, 120 E Sheldon St. Suite 104**, Historic Preservation District #8, Santa Fe Depot. APN: 113-18-006. Request for approval for new signage consisting of individual pan channel letters with LED illumination. Applicant/Agent is Franklin's Fine Signs. Historic Preservation Specialist, Cat Moody.

Ms. Moody reviewed the staff report and indicated:

- the building is not an historic building, but is part of the preservation district;
- the letters proposed are individually mounted and contain the colors red and green;
- the patching and painting of the building has already started; and,
- the sign totals 22 square feet.

Commissioners queried and commented on:

- patching the area of the removed sign; and,
- the “garish” appearance of the colors.

Ms. Ivy Winn, manager and wife of the owner, noted the sign colors were designed by the sign company. The sign color could be changed if necessary.

Chairman Ruffner suggested that the red color could be toned down.

Ms. Moody noted that the color does fall within the historic district guidelines.

Mr. Buchanan, **MOTION: to approve HP11-001**, signage for Winn Nails & Spa as submitted with the condition that the applicant patch and paint to match [the building] as needed. Mr. Stroh, 2nd. **Vote: 4-0.**

4. Discussion and possible action on fading of the stained Palace façade replacement fillet trim.

Chairman Ruffner read a letter that was given to Commissioners for discussion and possible correction to the staining of the Palace Saloon façade. The staining has lightened and requires mitigation. The representative, Mr. Hammond, assured the Commission that the stain would last 25 years and the painting was guaranteed. Pieces of the building fillet are broken and/or missing. Mr. Hammond indicated before Commission, at the time of the public hearing, that when the proposed repairs are made, no difference in color and/or fillet work would be distinguishable. Cat Moody, Preservation Specialist, contacted the company, with the company offering no suggestions for correction. The express warranty of matching the color did not occur. Ms. Moody gave the company a 30-day deadline for mitigation; subsequently, if no corrective action is taken, this matter will be referred to the City of Prescott Legal Department for further action.

Commissioners commented on:

- the stain was applied during a lower ambient temperature than required;
- during acceptable weather conditions, the stain should be reapplied;
- with more stain depth, less fading will occur;
- photographs requested by the company were supplied in a timely manner; and,
- this matter must be pursued further.

Mr. Stroh, **MOTION: to sign the letter of support** for correction of the problem. Mr. Petrovsky, 2nd. **Vote: 4-0.**

IV. GOALS 2011

Discussion included:

- Prescott Rodeo Grounds and Mr. Stroh’s offer to participate in the master plan committee;
- Historic Preservation Month and rewards to be given. Commissioners can submit potential candidates for the awards;
- Participation in Statewide Historic Preservation Conference that includes a proposal to host the 2012 conference in Prescott which will coincide with the Centennial events;
- a commitment by the City has been made to co-host, with the BLM, the State

- Archaeology Expo at the Aqua Fria National Monument;
- continue to monitor, review and report the results of projects approved by the Commission;
- submitting a National Register nomination for the two buildings and one object, Fish Pond Shrine, at the Rodeo Grounds that are considered eligible for the National Register;
- nominating the two buildings and one structure at the Rodeo Grounds for a legacy project with the Arizona Historical Advisory Commission, including a planned celebration ceremony during the Centennial events of 2012; and,
- conducting an outreach program for owner-occupied residential National Register properties that are not receiving the State of Arizona tax credit.

V. UPDATE OF CURRENT EVENTS

- the Western Regional Office of the National Trust, in conjunction with "This Place Matters," invited all the contractors and subs who worked on, or contributed to, the Elks Opera House to be photographed for formal recognition holding a banner, "This Place Matters." The photo will be in Preservation Magazine and/or perhaps other periodicals.
- the heating and cooling project is on-going at City Hall. No changes will be made to the exterior of the building. The building is not historic; however, the surrounding Courthouse Plaza and other historic buildings were considered when the project was initially considered. The replacement units address a long-standing issue and will be eligible for both APS and Unisource credits. Along with this project, new insulating window and door replacements along the front entrance have been completed and will increase the energy efficiency.
- a stop work order has been issued for the Music Café [replacing the Crepe restaurant] on Gurley Street to insure that the new business will keep the historic integrity intact.
- the time capsule will be opened in conjunction with the Centennial celebration. After the opening, it will again be placed at the corner of the City Hall building. Determination will be made when it will be reopened, perhaps at the 150th founding of the City of Prescott.
- Mayor Kuykendall, liaison to the Prescott Preservation Commission, thanked the members for the good work that is occurring. He noted the disappointment with the 2010 Census' finding of 39,800 persons living in the city.

VI. ADJOURNMENT

Chairman Ruffner adjourned the meeting at 9:00 a.m.

Elisabeth Ruffner, Chairman



Kathy Dudek, Administrative Assistant
Community Development Department
(Transcription)

Agenda Item: HP11-002, 207 W Gurley St

- All signage should be placed flat against the facade. One suspended perpendicular sign per building is permitted.

The Secretary of the Interior's Standards for Rehabilitation #9, states:

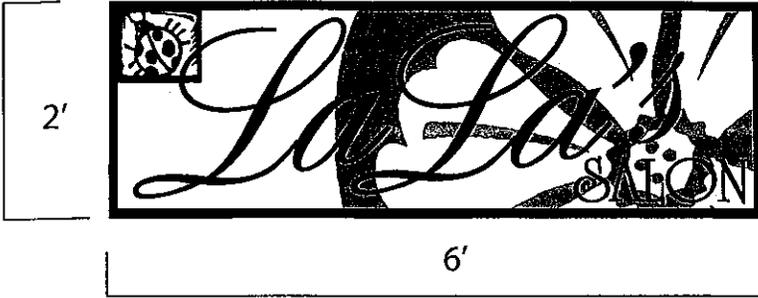
"New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment."

The proposed signage complies with all requirements of the design guidelines and is well within the allotted 50 square feet of allowable signage.

Site Visit: Recommended

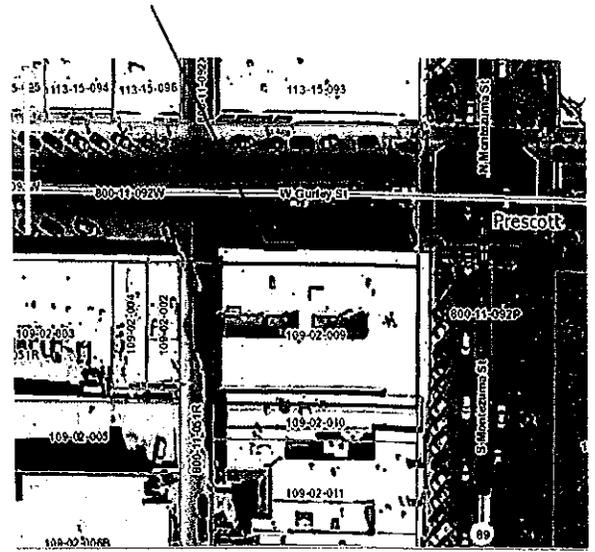
Recommended Action: MOVE TO APPROVE HP11-002 Request for approval of signage for new business, La La's Salon, in existing commercial space of Hotel St Michaels building.

La La's Salon 207C W. GURLEY



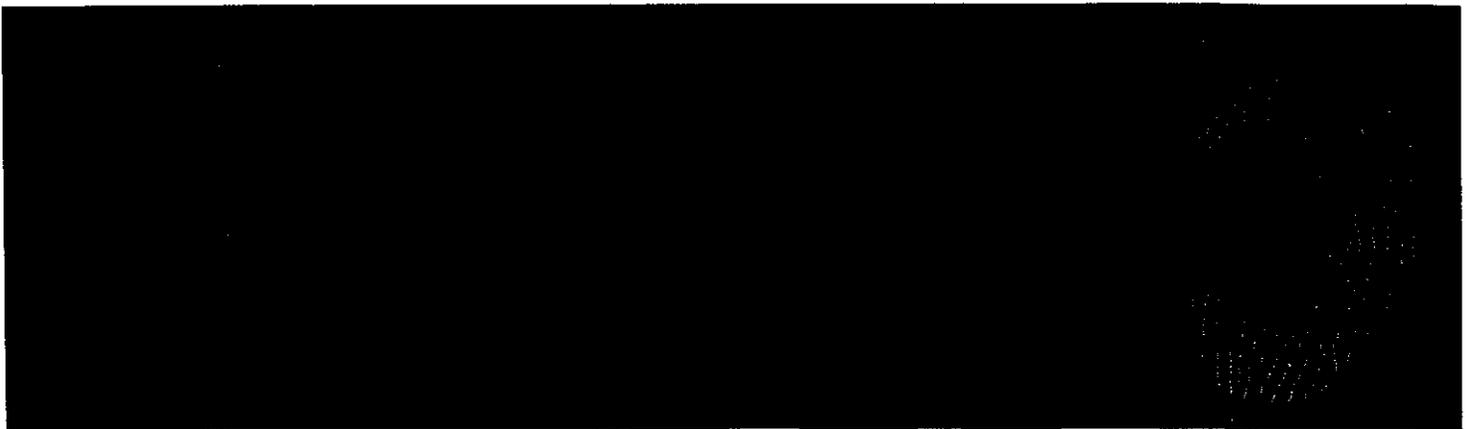
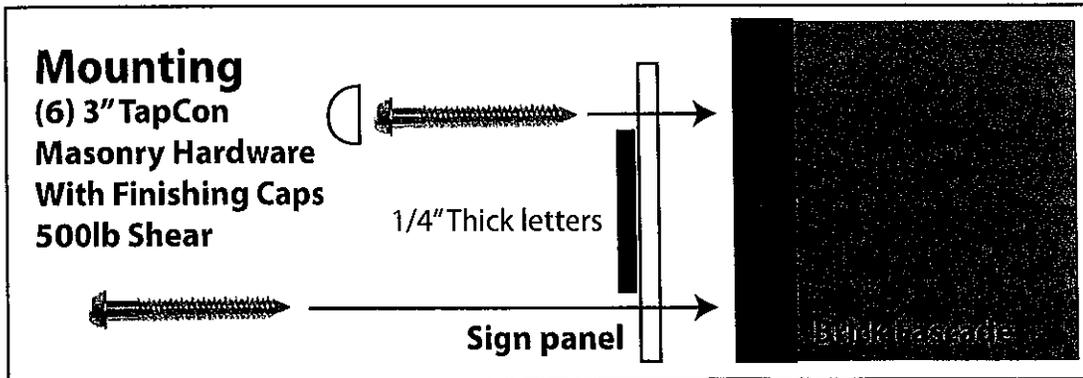
Layout & Manufacture 2' x 6'
 Dimensional Signage -
 Digital Print Graphics w/
 1/4" Acrylic Letters - \$429.00
 Installation & Hardware - \$89.00

Existing Sign Location - New Artwork & Materials



(1) 2' x 6' Dimensional Signage 1/4" Thick Letters

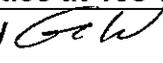
NTS



**PRESCOTT PRESERVATION COMMISSION
COMMUNITY DEVELOPMENT DEPARTMENT**

**Staff Report
April 8, 2011**

AGENDA ITEM: HP11-003 Request for approval of tenant improvements to the interior of an existing commercial space at 108 W Gurley St.

Planning Manager: George Worley 

Director: Tom Guice

Historic Preservation Specialist: Cat Moody 

Report Date: March 30, 2011

Historic Preservation District: #1 Courthouse Plaza

APN: 113-15-112 & 113-15-113

Zoning: DTB

Location: 108 West Gurley Street, the Union Block Building

Agent/Applicant: D.J. Buttke Architect, 2525 Country Park Dr Prescott AZ 86305

Building Owner: Annette Williams, 215 North D Street #100, San Bernadino CA 92401

Existing Conditions

National Register Status: The Union Block Building (106-110 W Gurley) is listed in the National Register of Historic Places. Some of the interior improvements were started prior to the issuance of a stop work order.

Applicant is requesting approval for interior modifications as follows:

1. Platform stage to be installed over existing floor in main front window bay
2. Removal of old wall partitions (non-historic) from previous occupant
3. Improvement to kitchen and associated food prep and storage areas
4. Remove old drop ceiling to expose historic tin panel ceiling
5. Restroom improvements to meet ADA requirements
6. Electrical and lighting upgrades (see attached description)
7. Replace front door with a slightly narrower, more accessible door and full height side-light panel.

See the plan set for design details for this project.

STAFF ANALYSIS

Conformance with the Prescott Historic Preservation Master Plan (HPMP): In part, the HPMP chapter for the Courthouse Plaza Historic District states:

- Do not allow doors to swing into the public right-of-way
- Locate doors consistent with the historic pattern
- Promote continued use of the Courthouse Plaza Historic District as a cornerstone commercial and business area with historically consistent and compatible development

Agenda Item: HP11-003, 108 W Gurley Street

The work proposed is overall an improvement to the interior of this space, while maintaining and enhancing some of the elements that provide historic character (exposing the old tin ceiling).

The only exterior change to the building is the request for a slightly smaller door (to be similar to the existing door) with an addition of a side-light window on the handle side. This will serve to make an improvement in ADA access by allowing for more clearance for door swing and wheel chair maneuverability.

The proposed work and use for this space will not adversely impact the historic integrity of this building. It will support the goal of continued use of the historic district as a draw to both citizens and visitors.

The Secretary of the Interior's Standards for Rehabilitation, #9, states:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Site Visit: Recommended

Recommended Action: Approve or Approve with modifications. Request for approval of tenant improvements (number 1-7 in this memo) to the interior of an existing commercial space at 108 W Gurley St.

PLEASE PROVIDE AS MUCH INFORMATION AS POSSIBLE IN A WRITTEN NARRATIVE DESCRIBING THE PROJECT:

THE MUSIC CAFÉ: It is proposed, an update and upgrade of an existing business at 108 W. Gurley Street, sold to Ms. KATHLEEN M. CUVELIER, an Arizona Business Owner, dba The Music Café, and present historic registered Union Block Building Tenant.

The showcasing and sharing of our indigenous, regional, national, and international classic to contemporary classic musical artists in a safe Prescott, Arizona café setting is our mission.

BACKGROUND:

The former Le Crêpe café, as purchased, was a poorly maintained establishment and may have been on the verge of being shut down by city and county officials, for a number of health and life safety issues and/or violations. Its occupancy uses included a permitted café restaurant and a questionable unpermitted residential apartment. There was evidence of unpermitted alterations and modifications to the interior architectural elements. The building shell and its tenant improvements (additions/modifications) have no construction documents of record available, permitted or not. Therefore, it is required to have a new building permit application and construction documentation to follow.

PROPOSED USE:

The proposed community development use shall be a 'Restaurant, Standard' with 'Entertainment, Indoors'. The restaurant/café shall have a health conscientious menu consisting of appetizers, soups, salads, light entrees, simple deserts, and a variety of beverages such as French pressed coffee, juices, and soft drinks. In addition to the primary café function, it shall have an artistic venue for performing live entertainment. The main genre shall include classical operetta vocal libretto a capella, or with musical scores accompanied by piano and/or quartet or quintet orchestration. All performances shall be without electronic amplification. Performance may be with or without costume. In addition to creating an artistic outlet and a dining experience as an asset to our community, it is also intended to have off prime hour encouragement/instruction for our local classical inspired vocal and instrumental talent.

AREA COMPATIBILITY:

As an artistic showcase in the heart of Historic Downtown Prescott, a classic musical outlet is an element that presently does not exist in a permanent or daily venue. As well as entertainment, offering an addition dining experience would give a our community an additional place of leisure. Thus, it should be seen as a welcome enterprise and attraction to our city core. It has been expressed by many of the existing merchants business owners, and general public that they would welcome this proposed venture.

ARCHITECTURAL HISTORIC VALUE:

The proposed dining room shall expose the circa 1900's paneled thirteen foot high tin ceiling treatment, and some original plaster on historic brick demising walls. The proposed ceiling fixtures shall include classic revival lighting and ceiling fans. The present store front glazing system and tile and plaster stucco exterior finishes shall be left intact. To better meet today's Americans with Disabilities Act requirements, it is proposed that the front door be replaced/maintained with an virtually identical clear aluminum handicap accessible door and full height side lite panel.

ARCHITECTUAL/ENGINEERING:

As a matter of maintenance, present code compliance, and functional necessity, it is proposed that we upgrade and update the kitchen and office/green room spaces. The existing public unisex rest room shall be updated to accommodate the physically impaired as a maintenance issue. In the investigation of the tenancy space, a second rest room was discovered and shall be utilized for employee and overflow use. The majority of the present circulation, exiting access, corridors, and stairway spaces shall remain mostly unchanged other than minor cosmetics. It is also anticipated that the relatively recent shoddy unpermitted construction be removed as a general practice. Public safety is a prime objective.

PLEASE PROVIDE AS MUCH INFORMATION AS POSSIBLE IN A WRITTEN NARRATIVE DESCRIBING THE PROJECT:

CONTINUED....

THE MUSIC CAFÉ:

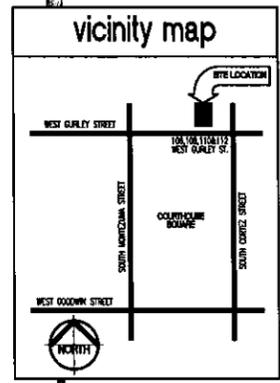
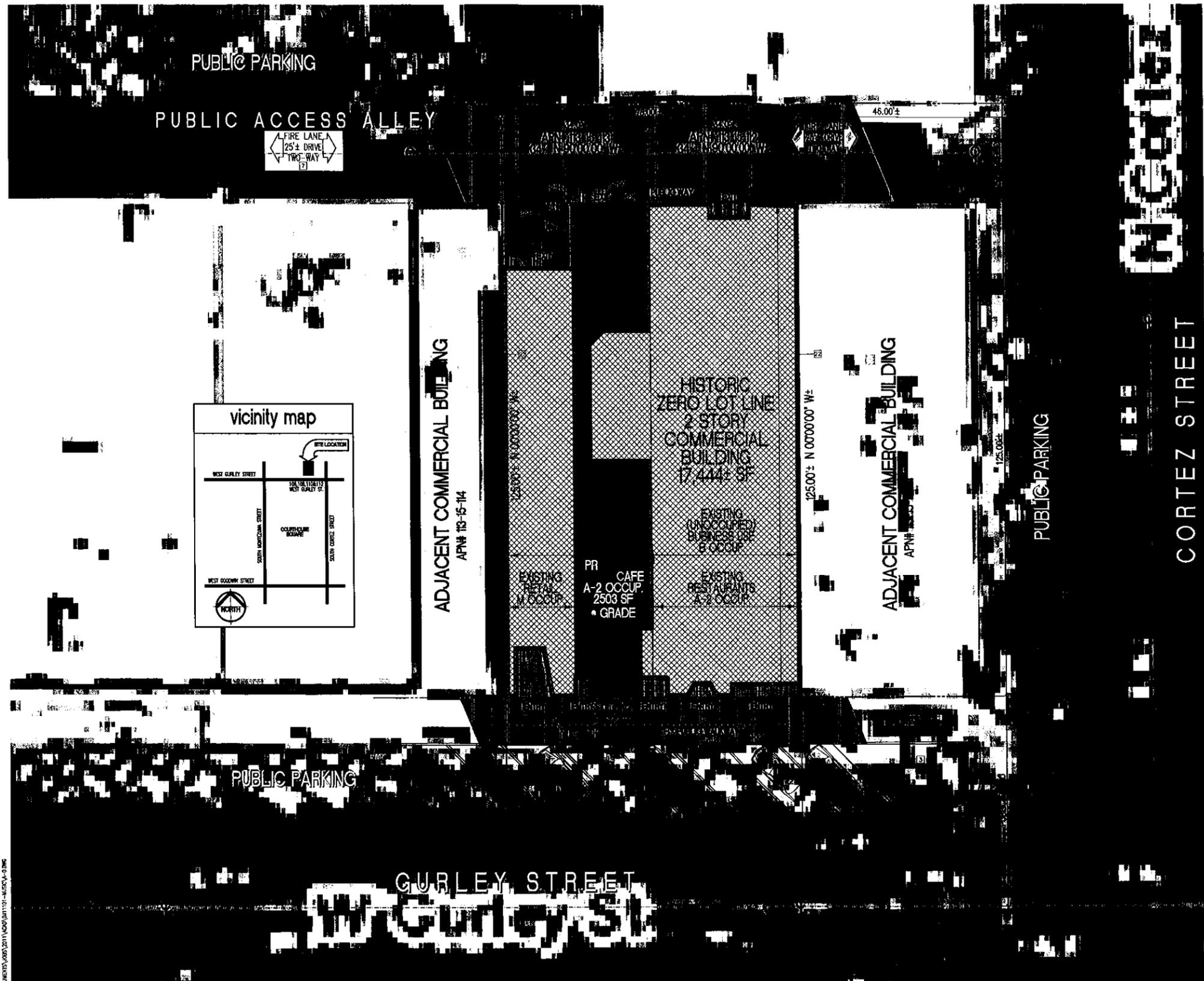
The showcasing and sharing of our indigenous, regional, national, and international classic to contemporary classic musical artists in a safe Prescott, Arizona café setting is our mission.

HOURS OF OPERATION:

It is anticipated that the café dining room and operetta be open to our citizens during normal Prescott lunch, dinner, and evening entertainment hours. During which time, as an amenity to the artistic experience a variety of beverages may be served to our patrons such as beers or wines. The morning shall be open for the offering, to our youth and local classical artists, a place to refine their skills and enhance their abilities for performances offered during regular hours of operation.

PARKING and ACCESS:

Being of similar use to the former café we can only pray that this venue *draws and holds* a greater number of people to the Courthouse Plaza. Offering a wider range of business hours and a different type of attraction to this area, we anticipate a greater demand for parking and pedestrian walk space. According to the Land Development Code of the City of Prescott, Arizona title, and not having any potential for on site parking provisions, no additional parking need be required. The proposed use, proposed occupancy load, and historic relevance will not require any additional public (ADA) ingress or egress to this tenancy.



project data

ZONING/CODE:	PRESCOTT - TITLE 10-1 LAND DEVELOPMENT CODE
AMENDED / ADOPTED:	AMENDED / ADOPTED 11/23/2008
APN APPLICATIONS:	10-15-114 and 10-15-114
PRESENT ZONE:	COMB. BUILDING PERMIT - OVER THE COUNTER
PROPOSED ZONE:	(DTB) DOWNTOWN BUSINESS DISTRICT
GEN. COMP. PLAN:	UNCHANGED
CHEKLAH DIST.:	COMMERCIAL
CONFORMING USE:	(P) HISTORIC PRESERVATION OVERLAYS
REB. OF INTENT:	N/A
ALLOWED USES:	• UNCHANGED ALLOWED RETAIL RESTAURANT BUSINESS OFFICES
DENSITY AND DIMENSIONAL STANDARDS:	
MINIMUM LOT AREA:	NONE GROSS SITE AREA: 95001 SF 0.22± ACRES
MAXIMUM UNIT DENSITY:	N/A NET SITE AREA: 95001 SF 0.22± ACRES
MINIMUM LOT WIDTH:	NONE
MAXIMUM LOT COVERAGE:	NONE
MAXIMUM HEIGHT:	MAXIMUM 50' MAX. EXISTING/PROPOSED 60' THEREFORE O.K.
MINIMUM SETBACKS:	
FRONT YARD:	NONE
SIDE YARD:	NONE
REAR YARD:	NONE
CORNER YARD:	NONE
DISTRICT STANDARDS, GUIDELINES, AND PROCEDURES:	
SPECIAL USES PERMITS:	
APPLICABILITY:	N/A
CONDITIONAL USE:	
APPLICABILITY:	N/A
HISTORIC PRESERVATION BOARD REVIEW:	UNDER REVIEW
RECOMMENDATION:	UNDER REVIEW
COMPATIBILITY REVIEW:	
APPLICABILITY:	UNDER REVIEW
PARKING AND LOADING:	UNCHANGED
LANDSCAPING:	IN COMPLIANCE THEREFORE O.K.
UNCHANGED:	IN COMPLIANCE THEREFORE O.K.
MAXIMUM HEIGHT:	MAXIMUM EXISTING UNCHANGED
UNCHANGED:	50' MAX. 60' THEREFORE O.K.
SIGNS:	UNDER SEPARATE PERMIT
SIGN LIGHTING:	UNDER SEPARATE PERMIT

site plan keynotes

- | DESCRIPTION |
|---|
| 1. PROPOSED EXISTING SIGN TO BE MODIFIED - REFER TO PARALLEL HISTORIC APPLICATION, UNDER SEPARATE PERMIT. |
| 2. EXISTING PROJECT SIGN LOCATION LOCATED ABOVE AND/OR BEYOND EXISTING CANOPY. |
| 3. PROPOSED AND/OR EXISTING LANDSCAPE LOCATION. |
| 4. EXISTING TRASH ENCLOSURE GENERAL LOCATION - BEYOND. |
| 5. EXISTING GROUP WALK - INTERIOR LOCATION. |
| 6. EXISTING LOADING ZONE LOCATION - N/A. |
| 7. EXISTING DRIVE ASBLE LOCATION. |
| 8. EXISTING INTERSECTION LOCATION - SIGN ZONE. |
| 9. EXISTING - TYP. 8' X 14' W/4" W/4" PUBLIC PARKING STALL. |
| 10. TYP. 8' X 18' H.C. ACCESSIBLE PAINTED PARKING STALL. |
| 11. 8' X 12' OR 8' X 14' ACCESSIBLE PAINTED RAMP ASBLE AS NOTED. |
| 12. EXISTING TWO-WAY DRIVE. |
| 13. EXISTING PARKING STALL STRIPING - TYP. |
| 14. ASSIGNED NON-MARKED ADA ACCESS ROUTE AND MEANS OF PUBLIC ACCESS AND EGRESS. |
| 15. EXISTING ADA-COMPLIANT RAMP. |
| 16. EXISTING CONC. CURB AND GUTTER. |
| 17. EXISTING CONC. SIDEWALK - PUBLIC R.O.W. |
| 18. PROPOSED SIDEWALK. |
| 19. PROPOSED/EXISTING ADA ACCESS ROUTE - UNCHANGED. |
| 20. MODIFIED EXISTING CONCRETE EXIT STAIR - SEE FLOOR PLAN. |
| 21. NOT USED. |
| 22. PROPERTY (PARCEL) LINE. |
| 23. BUILDING SETBACK LINE. |
| 24. EXISTING ASPHALT CONCRETE PAVING. |
| 25. EXISTING UTILITY (ELECTRIC) SERVICE ENTRY LOCATION OVERHEAD CANOPY. |
| 26. EXISTING ROOF ACCESS LADDER. |
| 27. EXISTING OCCUPANCY SEPARATION - TENANT DESIGNATION. |
| 28. PROPOSED ADA ADJUSTED FRONT ENTRY DOOR. REFER TO PROPOSED BUILDING ELEVATIONS. |
| 29. PROPOSED GREASE-TRAP LOCATION. |
| 30. EXISTING WATER METER LOCATION. |
| 31. EXISTING CABLE AND PHONE SERVICE ENTRY LOCATION OVERHEAD CANOPY. |
| 32. EXISTING/MODIFIED OVER HEAD CANOPY. REFER TO BUILDING ELEVATIONS. |

1 REFERENCE ARCHITECTURAL SITE DEVELOPMENT PLAN
SCALE: 1"=10'-0"



general site notes

- EXISTING SIGNS TO REMAIN - UNDER SEPARATE PERMIT. CHECK AS NOTED.
- NOT USED OR OMITTED PLAN KEYNOTES ARE N/A FOR THIS SUBMITTAL / APPLICATION.
- NOT USED OR OMITTED PROJECT DATA NOTES ARE N/A FOR THIS SUBMITTAL / APPLICATION.

site disclaimer

- THIS ARCHITECTURAL REFERENCE PLAN IS BASED ON THE COUNTY ENGINEER'S RECORDS AND CLAIMS NO ACCURACY TO THE PLAN LINE, PLAN GENERAL OBSERVATION.
- THIS APPLICATION FOR PERMIT IS SUBJECT TO THE PLAN OF PRESERVATION, COMMERCIAL PLAN REVIEW SUBMITTAL, AND HISTORIC PRESERVATION APPLICATION.
- NO RECORD OF THE EXISTING SHELL BUILDING AVAILABLE.
- NO RECORD OF PREVIOUS T.I.S. AVAILABLE.

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D.J. BUTTKE ARCHITECT
ARCHITECTURAL FIRM
2525 COUNTRY PARK DRIVE - PRESCOTT, AZ 86305
WWW.DJBARCH.COM

REVISION

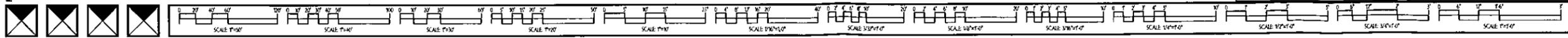
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PROJ: THE MUSIC CAFE - TENANT IMPROVEMENT
UNION BLOCK BUILDING - COURTHOUSE PLAZA
FOR: KATHLEEN M. CUVELLER & JEFFREY PUG
108 W. GURLEY ST., PRESCOTT, ARIZONA
LOC: 108 W. GURLEY ST. & 10 W. CORTEZ ST., PRESCOTT, ARIZONA 86301

DATE: 19 MAR 2011
SCALE: 1"=10'-0"
DESIGNED: DJB
DRAWN: DJB
JOB NO.: DJT101

PROPOSED SITE DEVELOPMENT PLAN
A0.1
NOTE: DO NOT SCALE DWG.

PLOT: 2/20/2011 11:54 AM
 FILE: C:\WORKSPACES\ARCH\PROJECTS\005\2011\001\111-1100-1-01.dwg





1 EXISTING SOUTH BUILDING ELEVATION (WEST GURLEY STREET)
SCALE: 1/4"=1'-0"



disclaimer

THIS ARCHITECTURAL REFERENCE PLAN IS BASED ON THE FIELD OBSERVATION AND CLAIMS NO ACCURACY TO THIS PLAN OTHER THAN GENERAL OBSERVATION.

THE CONTRACTOR SHALL VERIFY ALL PHYSICAL INFORMATION CONTAINED IN THIS DOCUMENT BEFORE ANY DEMOLITION BEGINS. THE CONTRACTOR SHALL NOTIFY THIS PROJECT ARCHITECT IN WRITING TO ANY FIELD VERIFIED VARIATION IN THE DOCUMENT BEFORE EXECUTION OF CONSTRUCTION. FAILURE OF THE CONTRACTOR TO NOTIFY THIS ARCHITECT SHALL OR OMISSION TO MAKE FIELD VERIFICATION SHALL BE HOLD IRRESPECTIVE THIS ARCHITECT BY DEFAULT TO THE CONTRACTOR.

NO RECORD OF THE EXISTING SHELL BUILDING AVAILABLE.

NO RECORD OF PREVIOUS U.S. AVAILABLE.

THIS APPLICATION FOR PERMIT SUBJECT TO THE CITY OF PRESCOTT, AZ 'COMMERCIAL PLAN REVIEW SUBMITTAL CHECKLIST'.

REFER TO STRUCTURAL ENGINEERING DRAWINGS AND CALCULATIONS FOR EXISTING AND PROPOSED FRAMING PLANS, TRUSS PLANS AS GENERAL ARCHITECTURAL LAYOUT ONLY.

COMPONENT OF ALL DESIGN
DATE: 03/19/2011
D.J. BUTTKE ARCHITECT
2522 COUNTRY PARK DRIVE • PRESCOTT, AZ 86305
WWW.DJBARCH.COM

REVISION

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2 PROPOSED SOUTH BUILDING ELEVATION (WEST GURLEY STREET)
SCALE: 1/4"=1'-0"



elevation keynotes

DESCRIPTION
1. EXISTING CLEAR ALUMINUM STORE FRONT WINDOW/DOOR SYSTEM
2. PROPOSED CLEAR ALUMINUM STORE FRONT WINDOW/DOOR SYSTEM TO MATCH EXISTING SYSTEM

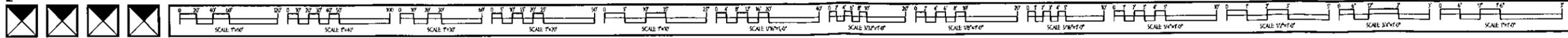
PRELIMINARY
NOT FOR
CONSTRUCTION

PROJ: THE MUSIC CAFE - TENANT IMPROVEMENT
UNION BLOCK BUILDING - COURTHOUSE PLAZA
FOR: KATHLEEN M. CUVELIER & J. EREN PUIG
108 W. GURLEY ST., PRESCOTT, ARIZONA
LIC: ANN T01572 • 701 W. GURLEY ST., PRESCOTT, ARIZONA 86201

DATE: 19 MAR 2011
SCALE: 1/4"=1'-0"
DESIGNER: DB
DRAWN: DB
JOB NO.: 011101

EXTERIOR BUILDING ELEVATIONS
A3.1
NOTE: DO NOT SCALE DWG.

FILE: E:\Documents and Settings\djbuttk\My Documents\00812011\10403011101-10800-3.dwg



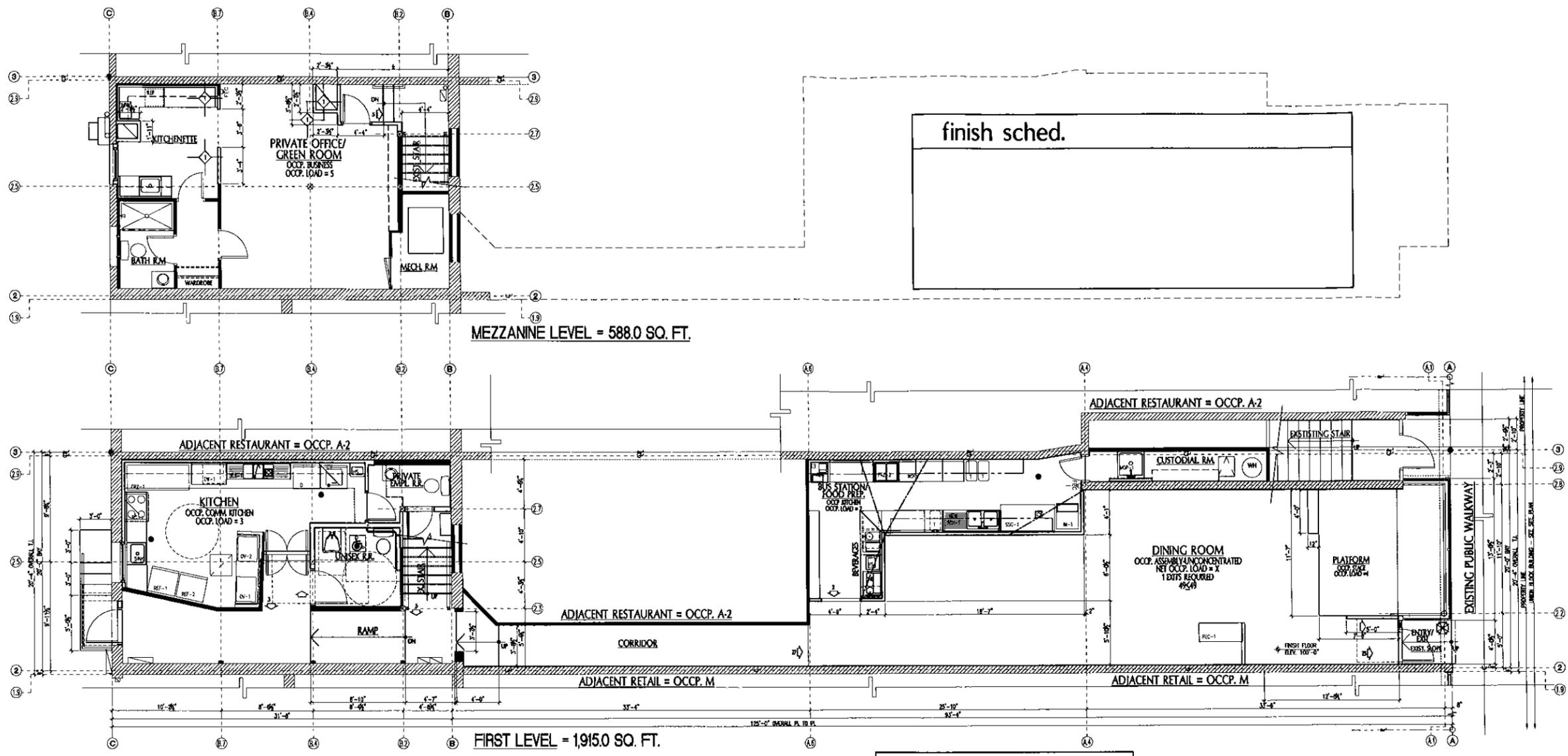
CONTRACTOR OF ALL TRADES
 © 1982 BY
 DAVID R. BUTTKE ARCHITECTS
 THE DRAWING AND THE INFORMATION
 THEREON ARE THE PROPERTY OF DAVID R.
 BUTTKE ARCHITECTS AND SHALL REMAIN
 THE PROPERTY OF THE ARCHITECT AND
 SHALL NOT BE REPRODUCED OR
 TRANSMITTED IN ANY FORM OR BY
 ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE
 AND RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN CONSENT OF THE ARCHITECT.
 THIS CONTRACT IS SUBJECT TO THE
 TERMS AND CONDITIONS OF THE
 ARCHITECT'S STANDARD CONDITIONS
 OF CONTRACT, WHICH ARE AVAILABLE
 UPON REQUEST.

D.J. BUTTKE
ARCHITECT
 ARCHITECTS, INTERIORS, DESIGN, STUDIO
 (928) 233-8077 • 16400 OLD MANOR ROAD
 2525 COUNTRY PARK DRIVE • PRESCOTT, AZ 86305
 WWW.DJBARCH.COM

REVISION	DATE	DESCRIPTION
1	19 MAR 2011	ISSUE FOR PERMIT
2	19 MAR 2011	REVISED PER COMMENTS
3	19 MAR 2011	REVISED PER COMMENTS
4	19 MAR 2011	REVISED PER COMMENTS
5	19 MAR 2011	REVISED PER COMMENTS

**THE MUSIC CAFE - TENANT IMPROVEMENT
 UNION BLOCK BUILDING - COURTHOUSE PLAZA**
 PREPARED BY: KATHLEEN M. CUYLER & J. ERREN PUIG
 108 W. GURLEY ST., PRESCOTT, ARIZONA
 DATE: 19 MAR 2011
 SCALE: 1/4"=1'-0"
 DESIGNED: DJB
 DRAWN: DJB
 JOB NO.: 01101

ARCHITECTURAL
 FLOOR PLAN
A1.1
 NOTE: DO NOT SCALE DWG.



finish sched.

1 ARCHITECTURAL FLOOR PLAN
 SCALE: 1/4"=1'-0"
 1,915.0 LEVEL SQ. FT.
 TOTAL 2,503 SQ. FT.

door - window schedule

1	DOOR - REFER TO SHT. A-3
2	WINDOW - REFER TO SHT. A-3

equipment schedule

F	GLASS DOOR REFRIGERATOR	REF. 200-46	1/2	115	1	1	A1P5	MEMA	CONDENS. UNIT	COND. LENGTH	CONDENSING UNIT

floor plan keynotes

KEY	DESCRIPTION
1	EXISTING EXTERIOR WALL.
2	EXISTING ALUM. STORE FRONT DOORS AND/OR WINDOWS SYSTEM TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OFFICIALS.
3	EXISTING ALUM. DOOR THRESHOLD. PROTECT DURING CONSTRUCTION.
4	EXISTING EXTERIOR COLUMN.
5	EXISTING SORTE, SPANDREL AND LAVES ABOVE.
6	EXISTING 22x30 ATTIC ACCESS PANEL IN SOUTH ABOVE - VERIFY DISTANCE.
7	EXISTING FLUSH STEEL DOORS TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OFFICIALS.
8	EXISTING STRUCTURAL COLUMNS TO REMAIN.
9	BEAM / SPANDREL ABOVE - REFER TO SHEET A-2.
10	A.D.A. REQUIRED MANEUVERING CLEARANCE AT DOORS.
11	A.D.A. REQUIRED 60" OAL. MANEUVERING CLEARANCE FLOOR SPACE.
12	A.D.A. REQUIRED 60" OAL. MANEUVERING CLEARANCE FLOOR SPACE.
13	CALCULATED OCCUPANCY EXIT LOAD - POSTED PER IBC 1004.3.
14	A.D.A. REQUIRED 60" X 60" CLEAR FLOOR SPACE AT A.I.C. N.C.
15	TYP. A.D.A. REQUIRED GENERAL 30" X 48" CLEAR FLOOR SPACE AT FIXTURES AND APPLIANCES. PREVIOUSLY PERMITTED. U.S.W.T.
16	EXISTING A.D.A. REQUIRED H.C. GRAB BARS. EXISTING - UNCHANGED - PREVIOUSLY PERMITTED. U.S.W.T.
17	EXISTING TOILET TISSUE DISPENSER. VERIFY LOCATION.
18	EXISTING PAPER TOWEL DISPENSER. VERIFY LOCATION.
19	EXISTING SEAT COVER DISPENSER LOCATION.
20	EXISTING A.D.A. APPROVED WATER CLOSET.
21	EXISTING A.D.A. APPROVED URINAL.
22	EXISTING A.D.A. APPROVED URINAL SCREEN PANEL.
23	EXISTING A.D.A. APPROVED LAVATORY AND FAUCET FIXTURE.
24	EXISTING CUSTOM 24" DEEP COUNTER TOP W/ 4" BACK SPLASH.
25	EXISTING A.D.A. APPROVE LAVATORY MIRROR TO BE MOUNTED.
26	PROPOSED FIRE 7.5 LB. EXTINGUISHER LOCATION AS FOR FIRE DEPT. REQUIREMENTS.
27	PROVIDE ANCHORED UPPOINT UTILITY SINK LOCATION WITH BUILT-IN BACK SPLASH AND

general notes

- ALL INTERIOR FINISHES, MATERIALS, AND COLORS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- ALL CUSTOM CABINETS, DESKS, MATERIALS, AND COLORS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- ALL FIXTURES, DEVICES, AND APPLIANCES SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- MEN AND WOMEN REST ROOMS FLOORS, WALL, CEILING, LIGHTING AND CEILING SHALL COMPLY WITH 2006 IBC AND COUNTY HEALTH DISTRICT REQUIREMENT 06.01.
- SNACK BAR KITCHEN FLOORS, WALL, CEILING, LIGHTING AND CEILING SHALL COMPLY WITH 2006 IBC AND COUNTY HEALTH DISTRICT REQUIREMENT 06.01.
- EXISTING EMERGENCY LIGHTING TO REMAIN OR CHANGE - PROVIDE REQUIRED ADDITIONAL EMERGENCY LIGHTING - REFER TO ELECTRICAL PLANS.
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- WORK OUTSIDE OF LIMIT OF WORK IS EXISTING AND PREVIOUSLY PERMITTED, THEREFORE SHALL BE SUBJECT TO CHAPTER 34 IBC 2006 AND ARE AREAS "O.S.W." FOR DOCUMENTATION INFORMATION AND GENERAL REFERENCE ONLY. SHOP REQUIREMENTS SHALL BE OWNER'S OPTION.

partition types schedule

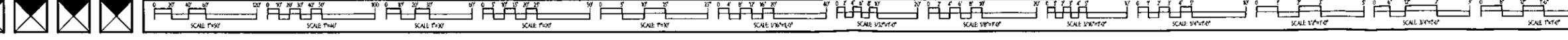
TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/FINISH	TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/FINISH
1	[Symbol]	EXISTING 6" STEEL STUD WALL W/ 5/8" GYP. BOARD ON INTERIOR FACE WITH EXTERIOR PLASTER SYSTEM ON EXTERIOR. EXISTING 6" THERMAL BATT INSULATION ASSUMED. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES. EXISTING SHELL - 2006 I.E.C.C. INDETERMINABLE.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED FINISHES: EXISTING - UNCHANGED EXTERIOR - 2006 I.E.C.C. INDETERMINABLE	2	[Symbol]	EXISTING 6" STEEL STUD PLUMBING MET WALL W/ 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED FINISHES: EXISTING - UNCHANGED
3	[Symbol]	EXISTING 6" STEEL STUD WALL WITH 5/8" GYP. BOARD EACH SIDE, ASSIGNED TYP. Y. BOARD TAPES AND TENDERS. FULL HEIGHT TO ROOF DECK ABOVE. EXISTING INSUL. TO REMAIN. EXISTING 6" THERMAL BATT INSULATION ASSUMED. EXISTING DAMPING WALL - 2006 I.E.C.C. INDETERMINABLE.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED FINISHES: EXISTING - UNCHANGED FLOOR TO ROOF DECK/STRUCTURE: DAMPING ABOVE	4	[Symbol]	EXISTING TYPE 1/2" W/ 1/4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON INTERIOR SIDE TO 44" A.F.F. SELF-PENETR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED FINISHES: EXISTING - UNCHANGED
5	[Symbol]	EXISTING TYPE 1/2" W/ 1/4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON INTERIOR SIDE TO 11'3" A.F.F. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED FINISHES: EXISTING - UNCHANGED FLOOR TO ROOF DECK/STRUCTURE: DAMPING ABOVE	6	[Symbol]	REMOVE EXISTING 6" STEEL STUD PLUMBING MET WALL GYP. BOARD ON EACH SIDE. REPLACE WITH 4" STEEL STUD WALL TO MATCH ADJACENT WALL W/ 5/8" GYP. BD. EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING FINISHES: EXISTING - UNCHANGED DEMOLITION/REPLACEMENT - INTERIOR
7	[Symbol]	EXISTING TYPE 1/2" W/ 1/4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING FINISHES: EXISTING - UNCHANGED	8	[Symbol]	EXISTING 6" STEEL STUD POINT WALL TO 44" WITH 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING FINISHES: EXISTING - UNCHANGED

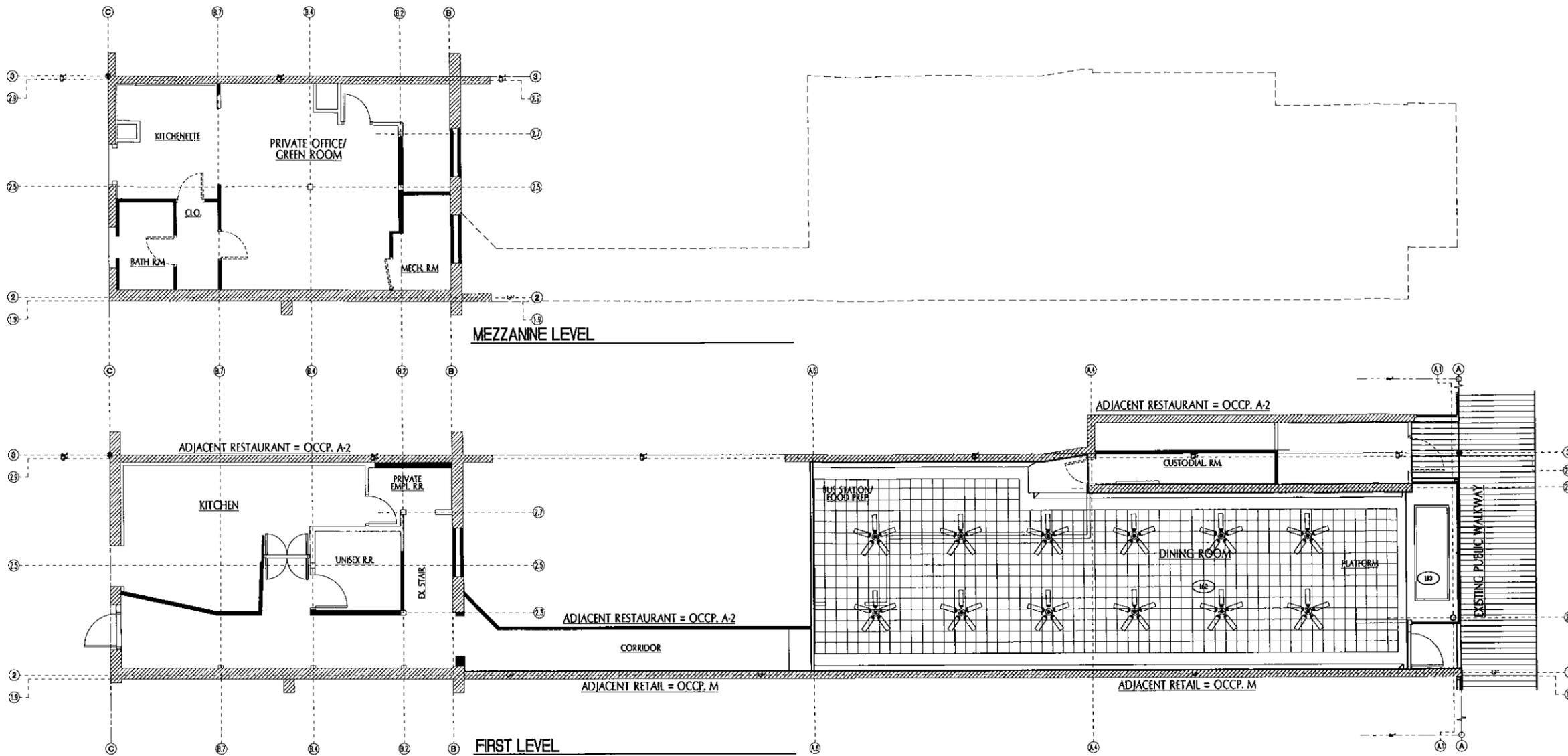
NOTE: PROVIDE 4" TO 6" RUBBER GYDE BASE @ KITCHEN.
 NOTE: GYP. BD. SHALL BE TAPED, TEXTURED, AND PAINTED AS PER OWNER.
 NOTE: ISOLATE INTERIOR PARTITIONS FOR SOUND TRANSMISSION AS PER OWNER.

occupancy load

1	EXISTING EXTERIOR WALL.
2	EXISTING ALUM. STORE FRONT DOORS AND/OR WINDOWS SYSTEM TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OFFICIALS.
3	EXISTING ALUM. DOOR THRESHOLD. PROTECT DURING CONSTRUCTION.
4	EXISTING EXTERIOR COLUMN.
5	EXISTING SORTE, SPANDREL AND LAVES ABOVE.
6	EXISTING 22x30 ATTIC ACCESS PANEL IN SOUTH ABOVE - VERIFY DISTANCE.
7	EXISTING FLUSH STEEL DOORS TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OFFICIALS.
8	EXISTING STRUCTURAL COLUMNS TO REMAIN.
9	BEAM / SPANDREL ABOVE - REFER TO SHEET A-2.
10	A.D.A. REQUIRED MANEUVERING CLEARANCE AT DOORS.
11	A.D.A. REQUIRED 60" OAL. MANEUVERING CLEARANCE FLOOR SPACE.
12	A.D.A. REQUIRED 60" OAL. MANEUVERING CLEARANCE FLOOR SPACE.
13	CALCULATED OCCUPANCY EXIT LOAD - POSTED PER IBC 1004.3.
14	A.D.A. REQUIRED 60" X 60" CLEAR FLOOR SPACE AT A.I.C. N.C.
15	TYP. A.D.A. REQUIRED GENERAL 30" X 48" CLEAR FLOOR SPACE AT FIXTURES AND APPLIANCES. PREVIOUSLY PERMITTED. U.S.W.T.
16	EXISTING A.D.A. REQUIRED H.C. GRAB BARS. EXISTING - UNCHANGED - PREVIOUSLY PERMITTED. U.S.W.T.
17	EXISTING TOILET TISSUE DISPENSER. VERIFY LOCATION.
18	EXISTING PAPER TOWEL DISPENSER. VERIFY LOCATION.
19	EXISTING SEAT COVER DISPENSER LOCATION.
20	EXISTING A.D.A. APPROVED WATER CLOSET.
21	EXISTING A.D.A. APPROVED URINAL.
22	EXISTING A.D.A. APPROVED URINAL SCREEN PANEL.
23	EXISTING A.D.A. APPROVED LAVATORY AND FAUCET FIXTURE.
24	EXISTING CUSTOM 24" DEEP COUNTER TOP W/ 4" BACK SPLASH.
25	EXISTING A.D.A. APPROVE LAVATORY MIRROR TO BE MOUNTED.
26	PROPOSED FIRE 7.5 LB. EXTINGUISHER LOCATION AS FOR FIRE DEPT. REQUIREMENTS.
27	PROVIDE ANCHORED UPPOINT UTILITY SINK LOCATION WITH BUILT-IN BACK SPLASH AND

PRELIMINARY
 NOT FOR
 CONSTRUCTION





2 ARCHITECTURAL RCP
SCALE: 1/4"=1'-0"

partition types			
TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/REMARKS
1	[Symbol]	REFER TO SHEET A-1	

ceiling fixture legend							
SYMBOL	DESCRIPTION	FINISHED HEIGHT/AS REQUIRED	HORIZONTAL LOCATION/REMARKS	SYMBOL	DESCRIPTION	FINISHED HEIGHT/AS REQUIRED	HORIZONTAL LOCATION/REMARKS
[Symbol]	EXISTING EMERGENCY / EXIT LIGHT FIXTURE TO REMAIN.	EXISTING	EXISTING	[Symbol]	EXISTING PENDANT OR CEILING HUGGER CEILING FAN TO REMAIN.	EXISTING	REFER TO ELEC. PLANS
[Symbol]	PROPOSED EMERGENCY / EXIT LIGHT FIXTURE TO INSTALL AS REQUIRED. REFER TO ELECTRIC PLAN.	AS REQUIRED	REFER TO ELEC. PLANS	[Symbol]	EXISTING EXHAUST CEILING FAN TO REMAIN.	EXISTING	REFER TO MECH. & ELEC. PLANS
[Symbol]	PROPOSED LOW VOLTAGE TRACK LIGHTING FIXTURE AS SELECTED BY OWNER AND AS APPROVED BY CLARK COUNTY HEALTH DISTRICT REGULATION 96.07.	FLUSH WITH O.C.	REFER TO THIS & ELEC. PLANS	[Symbol]	EXISTING RETURN HANG HEAT REGISTER / FILTER TO REMAIN - REFER TO MECHANICAL PLAN.	SURFACE MOUNT	REFER TO THIS & MECH. PLANS
[Symbol]	EXISTING 2'x4' (4) LAMP FLUORESCENT GRID LIGHT FIXTURE TO REMAIN. REMOVE CONDUIT AT SHACK BAR AREA TO APPROVED BY CLARK COUNTY HEALTH DISTRICT REGULATION 96.07.	FLUSH WITH O.C.	REFER TO ELEC. PLANS	[Symbol]	EXISTING SUPPLY RING-HEAT REGISTER / FILTER TO REMAIN - REFER TO MECHANICAL PLAN.	FLUSH WITH O.C.	REFER TO THIS & MECH. PLANS
[Symbol]	EXISTING INCANDESCENT LIGHT FIXTURES TO REMAIN.	EXISTING	REFER TO ELEC. PLANS	[Symbol]	EXISTING 22-30 ATTIC ACCESS PANEL IN SOFFIT ABOVE. VERIFY EXISTENCE.	FLUSH WITH SOFFIT	REFER TO THIS PLAN
[Symbol]	EXISTING FIXTURES SWITCH DEVICE TO REMAIN. REFER TO ELECTRIC PLAN.	EXISTING	REFER TO ELEC. PLANS				

general notes

- ALL EXISTING STRUCTURAL FRAMING COMPONENTS TO REMAIN.
- FIELD VERIFY ALL STRUCTURAL FRAMING COMPONENTS.
- REFER TO SHEETS A-1 & A-2 FOR DEMOLITION AND SALVAGE REQUIREMENTS.
- EXISTING TELEPHONE CONDUITS TO REMAIN.
- EXISTING ELECTRIC POWER CONDUITS TO REMAIN.
- EXISTING ELECTRIC SIGN CONDUITS TO REMAIN.
- EXISTING WATER LINES TO REMAIN.
- REFER TO ELECTRICAL PLANS FOR CEILING LIGHTING, POWER & AUXILIARY SYSTEMS.
- REFER TO MECHANICAL PLANS FOR CEILING FOR MECHANICAL EQUIPMENT AND DEVICES.
- EXISTING ROOF ACCESS PANELS TO REMAIN.
- EXISTING PLUMBING WASTE & VENTS THRU ROOF TO REMAIN - REFER TO PLUMBING DRAWINGS.
- EXIT LIGHTING TO REMAIN.
- EXISTING UNIT WATER SUPPLY LINE AND SHUTOFF VALVE TO REMAIN.
- WORK OUTSIDE OF LIMIT OF WORK IS EXISTING AND PREVIOUSLY PERMITTED, THEREFORE SHALL NOT BE SUBJECT TO QUOTE BY BIDDING FOR DOCUMENTATION INFORMATION AND GENERAL REFERENCE ONLY.

finish legend		
SYMBOL/MARK	DESCRIPTION	RATING
[Symbol]	EXISTING CEMENT PLASTER SOFFIT TO REMAIN.	EXISTING
[Symbol]	EXISTING 2' x 4' EXPOSED SUSPENDED ACoustical TILE CEILING GRID SYSTEM TO REMAIN. REPLACE DAMAGED TILES WITH SALVAGED TILES. MARK INDICATES ORIGIN OF GRID.	EXISTING
[Symbol]	EXISTING 2' x 4' EXPOSED SUSPENDED ACoustical TILE CEILING GRID SYSTEM. REMOVE AND SALVAGE EXISTING TILES IN SHADDED AREA WITH CLARK COUNTY HEALTH DISTRICT REGULATION 96.07 APPROVED SURFACED CEILING TILES.	EXISTING
[Symbol]	FINISH CEILING LIGHT.	

r.c.p. plan keynotes	
KEYNOTE	DESCRIPTION
1	EXISTING EXTERIOR SOFFIT TO REMAIN.
2	EXISTING COLUMN - REFER TO FLOOR PLAN.
3	EXISTING/PROPOSED WALLS AND DOORS BELOW TYP. REFER TO FLOOR PLAN.
4	EXISTING/PROPOSED MILLWORK BELOW - REFER TO FLOOR PLAN.
5	EXISTING APPLIANCE BELOW - REFER TO FLOOR PLAN.
6	EXISTING/PROPOSED PLUMBING FIXTURES BELOW - REFER TO PLUMBING PLANS.
7	EXISTING WATER MAIN LINE, BRANCH AND VALVES AT BOTTOM OF STRUCTURE.
8	EXISTING MECHANICAL HVAC EQUIPMENT LOCATION ABOVE CEILING - REFER TO MECH. PLANS FOR CONTINUATION OF DUCT WORK. SEE ELECTRIC PLANS.
9	TYP. EXISTING HVAC MECHANICAL SUPPLY/RETURN REGISTERS TO REMAIN OR RESEALED INTO NEW PROPOSED CEILING TILES - REFER TO MECH. DRAWINGS.
10	EXISTING 22-30 ATTIC ACCESS PANEL IN SOFFIT ABOVE - VERIFY EXISTENCE.
11	EXISTING ELECTRIC SIGN CONDUITS TO REMAIN - NEW SOURCE UNDER SEPARATE PERMIT.
12	EXISTING EXHAUST FAN LOCATION - TO REMAIN.
13	PROVIDE ATTIC DRAFTSTOP ASSEMBLY PER IRC 703 SEC. 717.4 IF NOT EXISTING. FIELD VERIFY.
14	PROPOSED LOCATION OF OPTIONAL TRACK LIGHT WITH OWNER - REFER TO ELECTRIC PLANS.
15	EXISTING LIGHT FIXTURES TO REMAIN - REFER TO ELECTRIC PLANS.
16	EXISTING EMERGENCY LIGHT FIXTURES TO REMAIN - REFER TO ELECTRIC PLANS.
17	PROPOSED EMERGENCY LIGHT FIXTURES TO BE INSTALLED. REFER TO ELECTRIC PLANS.
18	TYP. EXISTING PENDANT OR CEILING HUGGER CEILING FANS TO REMAIN. REFER TO ELECTRIC PLANS.
19	TYP. EXISTING LIGHT SWITCHES TO REMAIN. REFER TO ELECTRIC PLANS.

CONTRACTOR OF ALL DESIGN AND CONSTRUCTION SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THIS DRAWING AND THE INFORMATION HEREON. THE ARCHITECT AND HIS FIRM SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY INFORMATION OR DATA PROVIDED BY ANY OTHER PARTY TO THE PROJECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED BY HIM OR HER AND HIS OR HER FIRM. THE ARCHITECT'S LIABILITY IS NOT TO BE INCREASED BY THE ARCHITECT'S STATUS AS AN ARCHITECT OR AS A MEMBER OF AN ARCHITECTURAL FIRM.

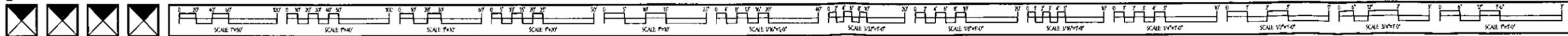
D.J. BUTTKE ARCHITECT
 AN ARCHITECTURAL FIRM
 225 COUNTRY PARK DRIVE - PRESCOTT, AZ 86305
 WWW.DJBARCH.COM

REVISIONS	
1	N/A
2	N/A
3	N/A
4	N/A
5	N/A

THE MUSIC CAFE - TENANT IMPROVEMENT UNION BLOCK BUILDING - COURTHOUSE PLAZA
 FOR: KATHLEEN M. CLEVELER & J. LEREN PUIG
 108 W. CURLEY ST., PRESCOTT, ARIZONA
 DATE: 19 MAR 2011
 SCALE: 1/4"=1'-0"
 DESIGNED: DJB
 DRAWN: DJB
 JOB NO.: 01101

ARCHITECTURAL REFLECTED CEILING PLAN
A2.1
 NOTE: DO NOT SCALE DWG.

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CONTRACTOR OF ALL WORKS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES AND AGENCIES.

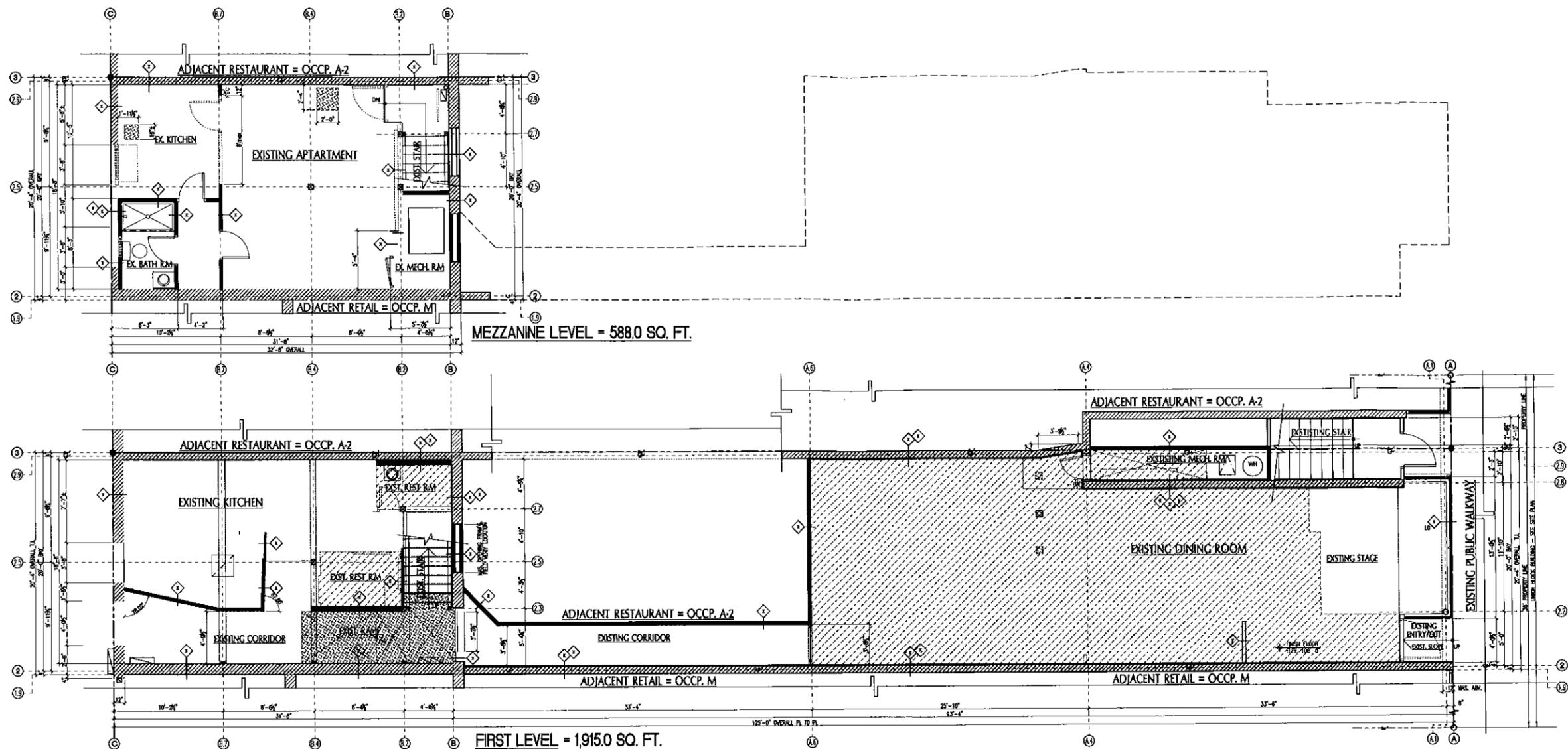
D.J. BUTTKE ARCHITECT
 2552 COUNTRY PARK DRIVE • PRESCOTT, AZ 86305
 WWW.DJBRARCH.COM

REVISION

1	NA
2	NA
3	NA
4	NA
5	NA

PROJ: THE MUSIC CAFE - TENANT IMPROVEMENT UNION BLOCK BUILDING - COURTHOUSE PLAZA
 FOR: KATHLEEN M. CUVELLER & J. LEFREN PUIG
 108 W. CURLEY ST., PRESCOTT, ARIZONA
 DATE: 19 MAR 2011
 SCALE: 1/4"=1'-0"
 DESIGNED: DJB
 DRAWN: DJB
 JOB NO: D1101

ARCHITECTURAL DEMO ROOF PLAN
D1.1
 NOTE: DO NOT SCALE DWG.



1 ARCHITECTURAL DEMOLITION FLOOR PLAN
 SCALE: 1/4"=1'-0"
 1,915.0 LEVEL SQ. FT.
 TOTAL 2,503 SQ. FT.

demo plan keynotes

KEY	DESCRIPTION
1	EXISTING EXTERIOR WALL.
2	EXISTING ALUM. STORE FRONT DOORS AND/OR WINDOWS SYSTEM TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OPTIONS.
3	EXISTING ALUM. DOOR THRESHOLD. PROTECT DURING CONSTRUCTION.
4	EXISTING EXTERIOR COLUMN.
5	EXISTING SOFFIT, SPINDLE, AND EAVES ABOVE.
6	EXISTING 22x30 ATIC ACCESS PANEL IN SOFFIT ABOVE - VERIFY EXISTENCE.
7	EXISTING FLUSH STEEL DOORS TO REMAIN. REFURBISH OR REPLACE AS PER OWNER AND/OR BUILDING OPTIONS.
8	EXISTING STRUCTURAL COLUMNS TO REMAIN.
9	BEAM / SPINDREL ABOVE - REFER TO SHEET A-2.
10	A.D.A. REQUIRED WALKWAY CLEARANCE AT DOORS.
11	A.D.A. REQUIRED 60" DIA. WALKWAY CLEARANCE FLOOR SPACE.
12	A.D.A. REQUIRED 60" DIA. WALKWAY CLEARANCE FLOOR SPACE.
13	CALCULATED OCCUPANCY DUTY LOAD - POSTED PER IBC 1004.3.
14	A.D.A. REQUIRED 60" DIA. CLEAR FLOOR SPACE AT H.C. W.C.
15	TRP. A.D.A. REQUIRED GENERAL 30"X 48" CLEAR FLOOR SPACE AT FIXTURES AND APPLIANCES.
16	EXISTING A.D.A. REQUIRED H.C. GRAB BARS. EXISTING - UNCHANGED - PREVIOUSLY PERMITTED. 105.5"
17	EXISTING TOILET TISSUE DISPENSER. VERIFY LOCATION.
18	EXISTING PAPER TOWEL DISPENSER. VERIFY LOCATION.
19	EXISTING SEAT COVER DISPENSER LOCATION.
20	EXISTING A.D.A. APPROVED WATER CLOSET.
21	EXISTING A.D.A. APPROVED URINAL.
22	EXISTING A.D.A. APPROVED URINAL SCREEN PANEL.
23	EXISTING A.D.A. APPROVED LAVATORY AND FAUCET FIXTURE.
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25	EXISTING A.D.A. APPROVE LAVATORY MIRROR TO BE MOUNTED.
26	PROPOSED FIRE 7.5 LB. EXTINGUISHER LOCATION AS PER FIRE DEPT REQUIREMENTS.
27	PROVIDE ANCHORED UPRIGHT UTILITY SINK LOCATION WITH BUILT-IN BACK SPLASH AND

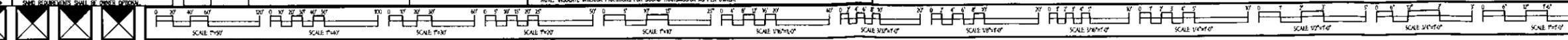
general notes

- ALL INTERIOR FINISHES, MATERIALS, AND COLORS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- ALL CUSTOM CABINETS DESIGN, MATERIALS, AND COLORS SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- ALL FIXTURES, DEVICES, AND APPLIANCES SHALL BE SELECTED AND/OR APPROVED BY THE OWNER PRIOR TO INSTALLATION. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH ANY SHOP DRAWINGS, CUT SHEETS, MATERIAL AND/OR COLOR SAMPLES NECESSARY FOR OWNER APPROVAL.
- WOMEN AND MEN REST ROOMS FLOORING, WALL, CEILING, BASE, LIGHTING AND CEILING SHALL COMPLY WITH 2006 IBC SECT. 1210 AND COUNTY HEALTH DISTRICT REQUIREMENT 96.07.
- SNACK BAR KITCHEN FLOORING, WALL, CEILING, LIGHTING AND CEILING SHALL COMPLY WITH 2006 IBC AND COUNTY HEALTH DISTRICT REQUIREMENT 96.07.
- EXISTING EMERGENCY LIGHTING TO REMAIN OR SALVAGE - PROVIDE REQUIRED ADDITIONAL EMERGENCY LIGHTING - REFER TO ELECTRICAL PLANS.
- REFER TO MECHANICAL, ELECTRIC AND PLUMBING PLANS.
- WORK OUTSIDE OF LIMIT OF WORK IS EXISTING AND PREVIOUSLY PERMITTED. THEREFORE SHALL BE SUBJECT TO CHAPTER 18B RC 2006 AND ARE JUDGED "AS-IS" FOR DOCUMENTATION INFORMATION AND GENERAL REFERENCE ONLY.
- SMR REQUIREMENTS SHALL BE OWNER PROVIDED.

partition types schedule

TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/REMARKS	TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/REMARKS
A	[Symbol]	EXISTING 6" STEEL STUD WALL W/ 5/8" GYP. BOARD ON INTERIOR FACE WITH EXTERIOR PLASTER SYSTEM ON EXTERIOR FACE. EXISTING 6" THERMAL BATT INSULATION ASSIGNED. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES. EXISTING SHELL - 2006 I.L.C.C. INDETERMINABLE	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: EXISTING - UNCHANGED EXTERIOR - 2006 I.L.C.C. INDETERMINABLE	D	[Symbol]	EXISTING 4" STEEL STUD PLUMBING MET WALL W/ 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: EXISTING - UNCHANGED
B	[Symbol]	EXISTING 8" STEEL STUD WALL WITH 5/8" GYP. BOARD EACH SIDE. ASSIGNED TYPE "X" BOARD. TAPED AND TEXTURED FULL HEIGHT TO ROOF DECK ABOVE. EXISTING INSUL. TO REMAIN. EXISTING 6" THERMAL/SOUND BATT INSULATION ASSIGNED. EXISTING BRACKING WALL - 2006 I.L.C.C. INDETERMINABLE	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: FLOOR TO ROOF DECK/STRUCTURE ABOVE	D	[Symbol]	EXISTING TYPE 1" WITH 4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: EXISTING - UNCHANGED
C	[Symbol]	EXISTING TYPE 1/2" WITH 4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON INTERIOR SIDE TO 11'4" A.F.F. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: FLOOR TO ROOF DECK/STRUCTURE ABOVE	D	[Symbol]	REMOVE EXISTING 4" STEEL STUD PLUMBING MET WALL ON INTERIOR SIDE TO 11'4" A.F.F. TO MATCH ADJACENT WALL W/ 5/8" GYP. BD. EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING HEIGHT: EXISTING - UNCHANGED DEMOLITION/REPLACEMENT - INTERIOR
D	[Symbol]	EXISTING TYPE 1/2" WITH 4" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON INTERIOR SIDE TO 11'4" A.F.F. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: FLOOR TO ROOF DECK/STRUCTURE ABOVE	D	[Symbol]	REPLACE REMOVED DOOR OPENING WITH 4" STEEL STUD WALL TO MATCH ADJACENT WALL W/ 5/8" GYP. BD. EACH SIDE.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING HEIGHT: EXISTING - UNCHANGED
E	[Symbol]	EXISTING TYPE 1/2" WITH 1 1/2" STEEL STUD FURRING WALL W/ 5/8" GYP. BOARD ON INTERIOR SIDE TO 11'4" A.F.F. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: EXISTING - UNCHANGED HEIGHT: FLOOR TO ROOF DECK/STRUCTURE ABOVE	D	[Symbol]	EXISTING 8" STEEL STUD POXY WALL TO 44" WITH 5/8" GYP. BOARD ON EACH SIDE. SEE FLOOR PLAN KEYNOTES FOR PROPOSED FINISHES.	RATING: EXISTING - UNCHANGED ASSEMBLY: MATCH EXISTING HEIGHT: EXISTING - UNCHANGED

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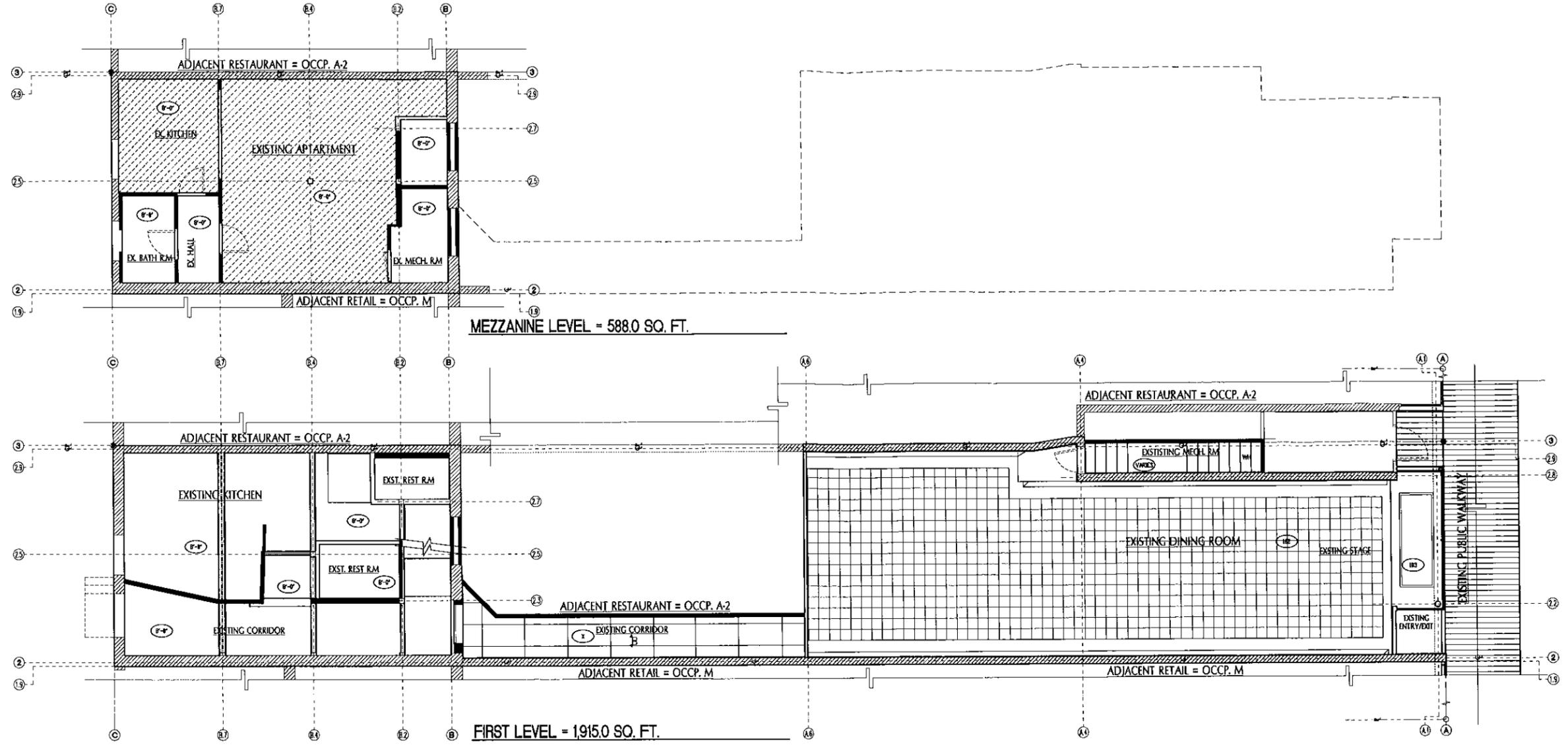
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 WWW.DJBARCH.COM

REVISION	DATE	DESCRIPTION
1	NA	NA
2	NA	NA
3	NA	NA
4	NA	NA
5	NA	NA

**THE MUSIC CAFE - TENANT IMPROVEMENT
 UNION BLOCK BUILDING - COURTHOUSE PLAZA**
 FOR: KATHLEEN M. CUYVELER & J. IFFREN PUIG
 108 W. GURLEY ST., PRESCOTT, ARIZONA 86301
 PROJ: 19-000000-001
 DATE: 19 MAR 2011
 SCALE: 1/4"=1'-0"
 DESIGNED: DJB
 DRAWN: DJB
 JOB NO.: D1101

ARCHITECTURAL DEMO
 REFLECTED CEILING PLAN
D2.1
 NOTE: DO NOT SCALE DWG.



2 ARCHITECTURAL DEMOLITION RCP
 SCALE: 1/4"=1'-0"



partition types

TYPE	GRAPHIC	DESCRIPTION	RATING/ASSEMBLY/REMARKS
1	[Symbol]	REFER TO SHEET A-1	

ceiling fixture legend

SYMBOL	DESCRIPTION	FINISHED HEIGHT/AS REQUIRED	HORIZONTAL LOCATION/REMARKS	SYMBOL	DESCRIPTION	FINISHED HEIGHT/AS REQUIRED	HORIZONTAL LOCATION/REMARKS
[Symbol]	EXISTING EMERGENCY / EXIT LIGHT FEATURE TO REMAIN.	EXISTING	EXISTING	[Symbol]	EXISTING PENDANT OR CEILING HOOKER CEILING FAN TO REMAIN.	EXISTING VARIES	REFER TO ELEC. PLANS
[Symbol]	PROPOSED EMERGENCY / EXIT LIGHT FEATURE TO INSTALL AS REQUIRED. REFER TO ELECTRIC PLAN.	AS REQUIRED	REFER TO ELEC. PLANS	[Symbol]	EXISTING EXHAUST CEILING FAN TO REMAIN.	SURFACE MOUNT	REFER TO MECH. & ELEC. PLANS
[Symbol]	PROPOSED LOW VOLTAGE TRACK LIGHTING FEATURE AS SELECTED BY OWNER AND AS APPROVED BY CLARK COUNTY HEALTH DISTRICT REGULATION 96.07.	FLUSH WITH C.C.	REFER TO THIS & ELEC. PLANS	[Symbol]	EXISTING RETURN HVAC HEAT REGISTER / FILTER TO REMAIN - REFER TO MECHANICAL PLAN.	FLUSH WITH C.C.	REFER TO THIS & MECH. PLANS
[Symbol]	EXISTING 2'x4' LAMP FLUORESCENT GRID LIGHT FEATURE TO REMAIN. ACRYLIC COVERS AT SNACK BAR AREA TO APPROVED BY CLARK COUNTY HEALTH DISTRICT REGULATION 96.07.	FLUSH WITH C.C.	REFER TO ELEC. PLANS	[Symbol]	EXISTING SUPPLY HEAT-VENT REGISTER / FILTER TO REMAIN - REFER TO MECHANICAL PLAN.	FLUSH WITH C.C.	REFER TO THIS & MECH. PLANS
[Symbol]	EXISTING INCANDESCENT LIGHT FIXTURES TO REMAIN.	EXISTING	REFER TO ELEC. PLANS	[Symbol]	EXISTING 22x30 ATTIC ACCESS PANEL IN SOFFIT ABOVE VENTY EXISTENCE.	FLUSH WITH SOFFIT	REFER TO THIS PLAN
[Symbol]	EXISTING INCANDESCENT LIGHT FIXTURES TO REMAIN. REFER TO ELECTRIC PLAN.	EXISTING	REFER TO ELEC. PLANS				

- general notes**
- ALL EXISTING STRUCTURAL FRAMING COMPONENTS TO REMAIN.
 - FIELD VERIFY ALL STRUCTURAL FRAMING COMPONENTS.
 - REFER TO SHEETS A-1 & A-2 FOR DEMOLITION AND SALVAGE REQUIREMENTS.
 - EXISTING TELEPHONE CONDUITS TO REMAIN.
 - EXISTING ELECTRIC POWER CONDUITS TO REMAIN.
 - EXISTING ELECTRIC SIGN CONDUITS TO REMAIN.
 - EXISTING WATER LINES TO REMAIN.
 - REFER TO ELECTRICAL PLANS FOR CEILING LIGHTING POWER & AUXILIARY SYSTEMS.
 - REFER TO MECHANICAL PLANS FOR CEILING FOR MECHANICAL EQUIPMENT AND DEVICES.
 - EXISTING ROOF ACCESS PANELS TO REMAIN.
 - EXISTING PLUMBING WASTE & VENTS SERVING ROOF TO REMAIN - REFER TO PLUMBING DRAWINGS.
 - EXIT LIGHTING TO REMAIN.
 - EXISTING UNIT WATER SUPPLY LINE AND SHUTOFF VALVE TO REMAIN.
 - WORK OUTSIDE OF LIMIT OF WORK IS EXISTING AND PREVIOUSLY PERMITTED, THEREFORE SHALL NOT BE SUBJECT TO CHAPTER 34 B.C. 2005. FOR DOCUMENTATION INFORMATION AND GENERAL REFERENCE ONLY.

finish legend

SYMBOL/MARK	DESCRIPTION	RATING
[Symbol]	EXISTING CEMENT PLASTER SOFFIT TO REMAIN.	EXISTING
[Symbol]	EXISTING 2' x 4' EXPOSED SUSPENDED ACoustical TILE CEILING GRID SYSTEM TO REMAIN. REPLACE DAMAGED TILES WITH SALVAGED TILES. MARK INDICATES CORNER OF GRID.	EXISTING
[Symbol]	EXISTING 2' x 4' EXPOSED SUSPENDED ACoustical TILE CEILING GRID SYSTEM REMOVE AND SALVAGE EXISTING TILES IN SHADDO AREA WITH CLARK COUNTY HEALTH DISTRICT REGULATION 96.07 APPROVED SURFACED CEILING TILES.	EXISTING
[Symbol]	FINISH CEILING HEIGHT.	

r.c.p. plan keynotes

KEYNOTE	DESCRIPTION
1	EXISTING EXTERIOR SOFFIT TO REMAIN.
2	EXISTING COLUMN - REFER TO FLOOR PLAN.
3	EXISTING/PROPOSED WALLS AND DOORS BELOW TYP. REFER TO FLOOR PLAN.
4	EXISTING/PROPOSED WALLWORK BELOW - REFER TO FLOOR PLAN.
5	EXISTING APPLIANCE BELOW - REFER TO FLOOR PLAN.
6	EXISTING/PROPOSED PLUMBING FIXTURES BELOW - REFER TO PLUMBING PLANS.
7	EXISTING WATER MAIN LINE, BRANCH AND VALVES AT BOTTOM OF STRUCTURE.
8	EXISTING MECHANICAL HVAC EQUIPMENT LOCATION ABOVE CEILING - REFER TO MECH. PLANS FOR CONSTRUCTION OF DUCT WORK. SEE ELECTRIC PLANS.
9	TYP. EXISTING HVAC MECHANICAL SUPPLY/RETURN REGISTERS TO REMAIN OR RESEATED INTO NEW PROPOSED CEILING TILES - REFER TO MECH. DRAWINGS.
10	EXISTING 22x30 ATTIC ACCESS PANEL IN SOFFIT ABOVE - VENTY EXISTENCE.
11	EXISTING ELECTRIC SIGN CONDUITS TO REMAIN - NEW STORAGE UNDER SEPARATE PERMIT.
12	EXISTING EXHAUST FAN LOCATION - TO REMAIN.
13	PROMOTE ATTIC BRANTSTOP ASSEMBLY PER IRC TB SEC. 717.4 IF NOT EXISTING. FIELD VERIFY.
14	PROPOSED LOCATION OF OPTIONAL TRACK LIGHT WITH OWNER - REFER TO ELECTRIC PLANS.
15	EXISTING LIGHT FIXTURES TO REMAIN - REFER TO ELECTRIC PLANS.
16	EXISTING EMERGENCY LIGHT FIXTURES TO REMAIN - REFER TO ELECTRIC PLANS.
17	PROPOSED EMERGENCY LIGHT FIXTURES TO BE INSTALLED - REFER TO ELECTRIC PLANS.
18	TYP. EXISTING PENDANT OR CEILING HOOKER CEILING FIXTURES TO REMAIN - REFER TO ELECTRIC PLANS.
19	TYP. EXISTING LIGHT SWITCHES TO REMAIN - REFER TO ELECTRIC PLANS.

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