



PLANNING & ZONING COMMISSION AGENDA

PLANNING & ZONING COMMISSION
PUBLIC HEARING
THURSDAY, APRIL 9, 2009
9:00 AM

COUNCIL CHAMBERS
CITY HALL
201 S. CORTEZ STREET
PRESCOTT, ARIZONA
(928) 777-1207

The following Agenda will be considered by the **PLANNING & ZONING COMMISSION** at its **REGULAR MEETING / PUBLIC HEARING** to be held on **THURSDAY, APRIL 9, 2009, at 9:00 AM** in the **COUNCIL CHAMBERS, CITY HALL**, located at **201 S. CORTEZ STREET**. Notice of this meeting is given pursuant to Arizona Revised Statutes, Section 38-431.02.

I. CALL TO ORDER

II. ATTENDANCE

MEMBERS

George Wiant, Chairman
Tom Menser, Vice Chairman
Joe Gardner
Don Michelman

Seymour Petrovsky
Richard Rosa
Len Scamardo

III. REGULAR ACTION ITEMS

(May be voted on contingent upon any related public items below as being acted on unless otherwise noted).

1. **Approve the minutes** of the March 12, 2009 meeting.
2. **Bradshaw Senior Community Landscape and Grading Plan** for Phase 2, located on the southeast corner of Bradshaw Drive and south of Stetson on ±10.47 acres. Zoning is BG-PAD. Owner is Bradshaw Senior Community/Prescott LP. Agent/Applicant is Chris Fergis. Community Planner, Mike Bacon.
3. **Revisions to Standard Details for Public Works Infrastructure.**
Richard Mastin, Development Services Manager.

THE CITY OF PRESCOTT ENDEAVORS TO MAKE ALL PUBLIC MEETINGS ACCESSIBLE TO PERSONS WITH DISABILITIES. WITH 48 HOURS ADVANCE NOTICE, SPECIAL ASSISTANCE CAN BE PROVIDED FOR SIGHT AND/OR HEARING IMPAIRED PERSONS AT PUBLIC MEETINGS. PLEASE CALL 777-1272 OR 777-1100 (TDD) TO REQUEST AN ACCOMMODATION TO PARTICIPATE IN THIS MEETING.

4. **PP09-002 (formerly SP06-003)** The Homestead Preliminary Plat--a 36-lot preliminary plat on ±19.56 acres located east of Senator Highway and west of Summer Field. Owners are, Jeannie Brown and Harold O. Tenney, Agent/Applicant is Carl Tenney. Community Planner, Mike Bacon. (associated with item 8 below)

IV. PUBLIC HEARING ITEMS

(May be voted on today unless otherwise specified)

5. **GP08-005, 1711 Thumb Butte Road.** APNs: 108-06-031K, 108-06-031P, and totaling ± 0.33 acres. Request General Plan Amendment from Low-Medium Density Residential (1-7 DUA) to Mixed Use. Owners/Applicants are Raymond & Lanette Hanna. Community Planner, Mike Bacon (928) 777-1360.
6. **RZ08-006, 1711 Thumb Butte Road.** APNs: 108-06-031K, 108-06-031P, and totaling ± 0.33 acre. Request zoning change from Single-Family-9000 square foot minimum lot size (SF-9) to Residential Offices (RO). Owners/Applicants are Raymond & Lanette Hanna. Community Planner, Mike Bacon (928) 777-1360.
7. **SUP09-001, 105 South Cortez Street. APN: 109-01-021A** and totaling ± 4,500 sq. ft. *Land Development Code* Sections 9.9 and 4.9.3.E.3. Zoning is Downtown Business (DTB). Request for a Special Use Permit to install a flagpole on top of the building and go above the maximum 50' height allowed in the DTB zoning district. The flagpole will rise ±18'-3" above the height of the ± 55'-4" inch tall building for a total height of ± 73'-6". Owner is TIS Holding, LLC. Agent is Otwell Associates Architects. Community Planner is Mike Bacon (928) 777-1360.
8. **RZ09-004, 677 & 714 Tenney Lane.** APNS: 110-06-005Z, 110-06-005R, 110-06-005Q, 110-06-006A and totaling ± 18.81 acres. Zoning is Single-Family 35 (SF- 35). Request zoning change from Single-Family 35 (SF-35) to Single- Family 18 (SF-18). Owners are Jeanine T. Brown and Harold O. Tenney. Applicant/Agent is Carl Tenney. Community Planner is Mike Bacon (928) 777-1360.
9. **LDC08-002, Various Amendments to the City of Prescott *Land Development Code (LDC)*,** more specifically amendments to: Article 2, Use Regulations, Table 2.3; Article 6, General Development Standards, Section 6.2.5 C; Article 7, Subdivision and Land Split Standards, Section 7.4.5B.4. The proposed amendments affect property within the corporate limits of the City of Prescott.
- **Flag Lot Dimensions.**
 - **Schools in Industrial Light (IL) Districts.**
 - **Hotels and Motels in Industrial Light (IL) Districts.**
 - **Compact Parking Spaces for Multi-Family Projects.**
 - **Schools and Dormitories in the Industrial Light (IL) Zone.**
 - **Mobil Food Vendors.**

V. CITY UPDATES

VI. SUMMARY OF CURRENT OR RECENT EVENTS

CERTIFICATION OF POSTING OF NOTICE

The undersigned hereby certifies that a copy of the foregoing notice was duly posted at Prescott City Hall and on the City's website on April 3, 2009, at 10:00 AM in accordance with the statement filed with the City Clerk's Office.



Kelly Sammeli, Boards and Commissions Administrative Specialist
Community Development Department

**PLANNING & ZONING COMMISSION
REGULAR MEETING / PUBLIC HEARING
MARCH 12, 2009
PRESCOTT, ARIZONA**

Minutes of the **PLANNING & ZONING COMMISSION** held on **March 12, 2009** in the **COUNCIL CHAMBERS, CITY HALL, 201 S. CORTEZ STREET**, Prescott, Arizona.

I. CALL TO ORDER

Chairman Wiant called the meeting to order at 9:00 AM.

II. ATTENDANCE

Members Present George Wiant, Chairman Joe Gardner Don Michelman Richard Rosa Len Scamardo	Others Present Tom Guice, Community Development Director George Worley, Asst. Community Development Director Richard Mastin, Development Services Director Ian Mattingly, City Traffic Engineer Matthew Podracky, Senior Asst. City Attorney Steve Gaber, Community Planner Mike Bacon, Community Planner Kelly Sammeli, Recording Secretary
Members Absent Tom Menser Seymour Petrovsky	Council Members Present Jack Wilson, Mayor Jim Lamerson, Council Liaison Bob Bell, Councilman

III. REGULAR ACTION ITEMS

- 1. Approve the minutes** of the February 26, 2009 meeting.

Mr. Rosa, **MOTION:** to approved the minutes of the February 26, 2009 meeting.

Mr. Michelman, **2nd. VOTE: 5-0.**

- 2. PP09-001, Preliminary Plat for Granite Dells Estates Commercial PAD.** APN: 103-04-001L, 103-04-001M, 103-04-001Q, 103-04-002A, 103-04-003B, 103-04-009C and totaling ± 206 acres. Located South of State Route 89A, East of the Peavine Trail. Owner is Granite Dells Estates Properties Inc. Engineering is Lyon Engineering. Community Planner is Steve Gaber (928) 777-1206.

Steve Gaber, Community Planner reported that the request before the Commission was the preliminary plat for Granite Dells Estates. Mr. Gaber placed the Master Plan exhibit for Granite Dells Estates on the overhead and noted the commercial portion of the PAD indicated that the application is consistent with all the earlier approvals. Mr. Gaber noted

that the plat had been adjusted to reflect the total number of acres of 215 acres. Mr. Gaber indicated that the adjustments are specific to right of way dedication that had been discussed in the earlier meeting. Mr. Gaber noted that the plat was adjusted to show the right of way area of Dells Ranch Road, easterly to road 27, as well as the Granite Dells Parkway along old SR89A to be platted as part of phase one however, the road will not be developed until later on.

Mr. Gaber further reported that the Planning and Zoning Commission has met two times previously two times, to discuss the preliminary plat and have followed up with a site visit to see how the grading plan will occur and where the road crossing of the Peavine Trail would occur. The two areas of concerns that have been noted are the crossings of the Peavine Trail and the preliminary grading that will occur. Mr. Gaber noted to the Commissioners that the grading plan reflects mass grading the entire site however, the proposal is to grade the 100 acres associated with phase one very soon. Mr. Gaber reminded the Commissioners that when the earlier Preliminary Plat for Granite Dells Estates was approved, it included a waiver to the *LDC, Land Development Code*, Sections 6.7 and 9.6.3, allowing for grading to occur prior to the submittal and approval of the final plat. Mr. Gaber further noted that Mr. Fann has alerted staff that sometime within the next few months there would be grading activities occurring on the site. Mr. Gaber recalled to the Commissioners the concerns that were mentioned when they were on the site visit included having the cut and fill slopes reflect a more natural look, the grading occur in a terraced fashion, and at the vicinity along the Peavine Trail by the old SR89A having a natural slope with the fill instead of it just ending at the properties edge.

Mr. Gaber noted the extent of the grading and acknowledged that the removal of the natural grass areas on the hills will be visibly noticeable as they are altered to a series of building pads for the commercial area. Mr. Gaber noted the proposed trail crossing location on the projected map and indicated that the location is just prior to the old railroad bridge over the old SR89A location. Mr. Gaber reminded the Commissioners that at the last Planning and Zoning meeting on February 26, 2008, the Commission made a recommendation that all Peavine Trail crossings will occur via a separated grade crossing. Mr. Gaber reported that upon that recommendation, the Public Works Department has initiated, some possible conceptual trail crossing designs that would involve either a bridge, or box culvert type crossing, and will be used to do a cost estimate study. Mr. Gaber indicated that upon the completion of the cost study the information will be brought back to the Planning and Zoning Commission.

Mr. Scamardo commented that it was his understanding that some sort of criteria was going to be established that would help decided when a separated trail crossings would need to occur.

Mr. Rosa concurred and commented that it was included in the recommendation.

Mr. Michelman noted that part of the discussion was that the Commission recognized that if there is a small dirt driveway crossing there is not much exposure where a four lane roadway or more has a lot of traffic and it is the in between place that needs the cut off for needing the split level crossings vs. having a designated crossing with some sort of signal.

Mr. Gaber reiterated that at the last meeting the Commission voted to make the recommendation that **all** crossings will occur via separation. Mr. Gaber went on to explain that when the Commissioners were at the site on the site visit, there was acknowledgement that depending on the intensity and the design of the road, there may not be a need for a separated grade crossing. Mr. Gaber reminded the Commissioners

that their first recommendation of all roads crossing the Peavine Trail be separated by grade is still in play, and staff is recommending that the Commission take another step, to recommend specific design criteria of when a separated grade crossing is required, along with a cost estimate of such a grade crossing, for when the separated grade crossings required.

Chairman Wiant noted that the Peavine Trail is located outside of the site that they are reviewing.

Mr. Gaber noted that was true however, the Commissioners should give it consideration.

Mr. Michelman indicated that the Commission can give recommendations that the City Council set up a criteria for trail crossings that will not only help with the Peavine Trail but other trails. Mr. Michelman further added this will also help future developers as they will know what the criteria is and what is expected of them as they move forward with projects.

Chairman Wiant indicated that he thought all the Commissioners agree with that.

Chairman Wiant opened the item up to the public for discussion.

Nigel Reynolds, 795 Sunrise Blvd, Yavapai Hills, Prescott noted that the Commissioners have heard his concerns many times over the past several meetings and that he would only emphasize that at grade crossings of the Peavine Trail is a bad idea and commercial traffic does not mix with hikers, bikers or equestrians. Mr. Reynolds further stressed that the Peavine Trail is a very heavily traveled trail that is important, and unless the crossing is a minor crossing with light traffic, at grade crossing should not be allowed. Mr. Reynolds concluded by asking the Commissioners to not mess up the trail by allowing at grade crossings.

Chairman Wiant closed the public portion of the meeting and called on the Commissioners for further comments or questions.

Mr. Gardner indicated that he thought the site visit was beneficial and that he felt better about most of the fill locations he was concerned with. Mr. Gardner further indicated that he still has concerns with the grading plan and that the City should look into the grading policies because currently there is an advantage to do mass grading. Mr. Gardner noted as an example, that building heights can be calculated from the mass graded land and the terrain of the land is not respected. Mr. Gardner further noted that in reality, if each site is designed for each use and building, there is not always the need for a flat pad. Mr. Gardner added that he was o.k. with the use for the area and the open space, but just giving carte blanche to taking hillsides and turning them into flat ground is wrong. Mr. Gardner commented that if it was possible to separate the vote between the plat and the grading plan he would like to do that. Mr. Gardner indicated that with regards to the Peavine Trail, the City needs criteria as to when the crossings should be grade separated and also noted that he understood that it was not part of the review but he would suggest keeping the old overpass of SR89A and possibly using that location as part of the roadway.

Chairman Wiant inquired if Mr. Gardener's recommendations are directed to the developer or to the City.

Mr. Gardner noted the City.

Mr. Rosa indicated that he agreed with Mr. Reynolds regarding the crossing of the Peavine Trail however, upon the site visit and looking at the one location where there would be hardly any traffic, there was discussion of possibly installing a push button system where a light would come on to stop the traffic to allow a crossing to occur. Mr. Rosa further noted that the trails people have to get together with traffic people and come up with a plan for each of the crossings and that is the recommendation that is being proposed today. Mr. Rosa further indicated to install an underground or overhead crossing at the one location would be cost prohibitive.

Chairman Wiant recalled to the Commissioners that at the last Planning and Zoning meeting there was mention of the communication that needs to occur between the departments involved but that the Commission was not going to design the crossings.

Mr. Scamardo indicated that he would like to ask Mr. Reynolds a question and invited Mr. Reynolds back to the podium. Mr. Scamardo explained that what happened is that when the Commissioners looked at proposed trail crossings, there were crossings that require separated crossings and there are driveways that will not require separation. Mr. Scamardo indicated that there is a space between high traffic interchange areas, and driveway crossing that still need to be addressed and that some sort of written criteria should be established to determine when a separated grade crossing will be required. Mr. Scarmardo then asked Mr. Reynolds if his group would be interested in working with various departments of the City to come up with a written criteria.

Mr. Reynolds commented that there should not be a problem working with the City as his group has already talked with the Trails people as well as City Planners. Mr. Reynolds indicated that he did not understand Mr. Scamardo's description of a driveway and inquired why the (purple) road needed to travel from east to west at that specific location. Mr. Reynolds noted the area on the northern side, in purple, (road 69) on the overhead map, the proposed road, the Peavine Trail and further indicated that the whole issue could be avoided if the traffic was removed from the area and redirect it to the northwest to Centerpointe or to the southwest to the bridge area that has been discussed.

Mr. Scamardo commented that he believed that there was a development agreement done between the developers of Centerpointe and Fann.

Mr. Gaber reported that Granite Dells Estates owns all of the property and the piece in discussion is one of the last pieces to be annexed. However, the road as it is laid out is not located within the piece of property owned by Granite Dells Estates but is owned by Cavan. Mr. Gaber further noted that the agreement is between those two parties however, in the development agreement between the City and Granite Dells Estates there is acknowledgement that there will be a need to have crossings of the Peavine Trail for road access but it does not specify where the roads will occur.

Mr. Reynolds stressed again that he did not see the need for road 69.

Mr. Scamardo noted that from his understanding that the deep purple location on the map is the Granite Dells property. However, the roadway (road 69) is located on Cavan property and the whole purpose of the roadway is to provide access to property to the south, owned by Cavan and not as an alternative route for Granite Dells access.

Mr. Reynolds inquired if the road could not be easily extended to provide access to the Cavan property.

Mr. Scamardo indicated that he did not know and thanked Mr. Reynolds for his comments.

Mr. Michelman noted that the Commission was not there to micro manage one crossing but to set up guidelines where there is public input and where all the information can be utilized to determine the criteria of the trail crossings for the future and everyone is under the same guidelines and each crossing does not have to be looked at individually.

Mr. Reynolds indicated that he understood that and offered that the criteria should focus on minimizing the crossings of the Peavine Trail.

Chairman Wiant noted that the Commission has made it very clear as to where they stood with the Peavine Trail concerns and that the Commission should now move on to the approval of the Preliminary Plat and called for a motion.

Mr. Rosa, **MOTION: move to approve** the Preliminary Plat, Granite Dells Estates Commercial Planned Area Development with the following condition; A. That all Department and Agency Comments be addressed prior to the submittal of a Final Plat for any phase or unit of development. In addition the Planning Commission would like to recommend that the City Council develop and adopt standards and policies for road and trail intersections and crossings.

Mr. Michelman, 2nd.

Mr. Gardner indicated that the point of Cavan being served via SR89A and the road to the north (Centerpointe) is a valid point, and if the Commission were to say that there should be a separated grade crossing at road 69, this would cost the developer a large amount of money and could possible encourage them to look at alternatives to the road location. Mr. Gardner further stated that with his concerns regarding the grading and the grade crossings he was not comfortable with the plat and was not ready to vote for it.

Mr. Gaber reported that the grading information was brought to the Commission as informational purposes so they knew what as being proposed as part of the application. Mr. Gaber added based upon the pre approved waiver, that Granite Dells Estates or agent Lyon Engineering would submit all full grading plans, however the grading permit would be issued administratively and would come back before the Planning and Zoning Commission for further review.

Mr. Michelman inquired how much grading would be done prior to submittal of the grading plan.

Mr. Gaber indicated that the grading would be 100 acres, specific to the roads and pad sites within the phase one area.

Mr. Michelman inquired what else would they have to submit if that is what they are already allowed to do.

Mr. Gaber reported that they would develop a full grading plan to include the drainage, storm water protection, utilities, water and sewer lines, a complete detail package of the design as if they were coming in for a final plat except they are not required to do the final plat element first.

Mr. Michelman indicated that he understood Mr. Gardner's concerns and maybe the Commission should consider not necessarily holding up the plat because of the one road crossing but suggesting to the City Council to please consider if the road location is necessary or if there could be more thought to road 39 crossing over the trail.

Mr. Gardner noted that the Commission's vote does not approve or deny the plat, the vote is a recommendation to the City Council and if there is belief there are still issues that need to be worked out then a no vote is appropriate.

Chairman Wiant noted that all the Commission was doing is agreeing to approve the Preliminary Plat as presented with the recognition of the trail crossing and move it to the City Council. Chairman Wiant further noted that the trail crossings will be looked at and addressed before it reaches final plat.

Mr. Michelman commented that all of the discussion regarding the trail crossings has been heard by two members of the City Council who have been present and they should have an idea that there are some questions on the best way to deal with those concerns. Mr. Michelman further noted that overall the concept is good and by suggesting that the criteria be set up for the crossings we have gotten the concerns and ideas addressed.

Chairman Wiant indicated that he thought the motion noted in the staff report did recognize the concerns.

Mr. Michelman noted that motion did not recognize the one crossing however, it does recognize the criteria for developing a policy. Mr. Michelman then commented that the fact is there is an area on the other side of the trail that needs access and the question is can that area on the other side of the trail be met by another method.

Mr. Scamardo noted that Mr. Gardner spoke eloquently when he commented that the way grading is done on commercial properties is putting the cart before the horse and it would be nice to know what the uses are so that the grading could be done accordingly because there are some uses that could use terraced parking and grade change elevations instead of taking large acre sites and mass grading it to 2 or 3%. Mr. Scamardo further noted that looking at the entire 100 acres that the Commission is looking at is hard to do because the uses are unknown except for the Fann building and one of the advantages to a large site like this is getting the drainage plan in.

Chairman Wiant noted that there was a motion and a second and called for a vote.

Vote: 4-1. Dissenting vote Mr. Gardner.

- 3. RZ09-003, 910 Canterbury Lane, located at the north end of Canterbury Lane.** APNs: 116-19-017, 116-19-017A, 116-19-017B, 116-19-021B, and 116-19-022 and totaling ± 6.27 acres. Zoning is Single-Family Residential (SF-9). Request rezone from Single-Family Residential (SF-9) to Multi-Family High Density (MF-H) For 132 residential units, comprising 44 assisted living and 88 non-assisted living units. Owner is Arcadia Housing, LLC. Agent is Civiltec Engineering. Assistant Community Development Director George Worley (928) 777-1287.

Assistant Community Development Director, George Worley reported that the Commissioners were presented with two letters, one in opposition and one in favor

of the project that was delivered prior to the meeting. Mr. Worley indicated that because there might be something in the letters that could affect the Commissioners decision making, as an option, staff recommends that a special meeting be held next week to allow time for review of the letters.

Chairman Wiant inquired if there were any changes to the site plan for the Boulders from what the Commission had previously reviewed.

Mr. Worley commented no and noted to the Commission he could briefly go through the actions that have taken place with the application and provide information as to why the item was back on the agenda. Mr. Worley reported that several weeks ago the Commission reviewed the site plan for the Boulders because it needed recommendation from the Commission, as it was not in strict conformance with a previous site plan, that was attached to a previous development agreement, that was part of a previous zoning. Mr. Worley reminded the Commission that at the time of the site plan review, the Commission was reviewing the same amended site plan for the Planned Area Development for the Boulders that was before the Commission today. Mr. Worley further noted that during the previous review the applicants, the engineers, and architect for the applicant had provided a detailed review of the site plan. Mr. Worley explained that what happened was that a question was raised at City Council review that if the zoning of Multi-Family-High was still in place since it was first approved in 1999. Mr. Worley reported that the property had several site plans submitted in conformance with the zoning or similar to the uses permitted by the zoning over the past ten years. Mr. Worley further reported that because the question regarding the zoning was raised, the City Attorney recommended that the project be brought back before the Planning and Zoning Commission as a rezoning to reinstate the Multi-Family High zoning. Mr. Worley indicated that there were two points of opinion, the City Attorney's and the applicants Attorney, opposed to one another, and it raised enough awareness for staff, that staff would like the Commission to make a recommendation to reinstate the Multi-Family High zoning so that the zoning is confirmed for the City Council to take action on. Mr. Worley noted that because the zoning question was raised, staff is presuming that the property is with a SF-9 zoning, the same as the properties to the west, and the same as it was prior to the rezoning in 1999. Mr. Worley concluded his report by noting that an action to reinstate the zoning of MF-H by the Planning and Zoning Commission is appropriate before moving the project on to the City Council. In addition, because the Commission assumed the Multi-Family High zoning was in place when the site plan was approved several weeks ago, staff is asking the Commission to reaffirm the approval of the Site Plan associated with The Boulders, with all of the conditions that were proposed during the last review for The Boulders by a separate vote once the rezoning has been voted on.

Chairman Wiant asked staff if there had been any action by the City or any developer on this location since 1999.

Mr. Worley asked Chairman Wiant if the question was directed towards projects or the zoning.

Chairman Wiant indicted that the Commission is trying to determine if the zoning was valid and noted that there was a criteria in place that stated that there needed to be continual development of the project.

Mr. Worley noted that the language of the original Development Agreement was transferred over and the term used was "develop" over a certain period of time. Mr. Worley indicated that the definition of the term develop can mean several different things

and this is why the City Attorney and the applicants Attorney on opposite sides of the issue. Mr. Worley further noted that staffs concern is that develop can be treated as if it is past tense or treated as an on going project where building permits have been submitted for the project, and staff believes that the process of rezoning the property will legally demonstrate that zoning is securely in place via action by the Commission, to recommend to City Council and Council to approve it. Mr. Worley noted that in this manner it is clearly open to the public, with advertisements of the meetings to provide adequate time for public comment. Mr. Worley further noted that staff prefers the Planning Commission to act on both the rezoning request and the reaffirmation of the site plan for The Boulders.

Mr. Scamardo indicated that he had read the letters and although there has been a lot of history with the site since 1999, the Commission is really looking at the present contract owner of the property and their site plan. Mr. Scamardo further stated that the zoning should be reaffirmed to Multi-Family-High and this will allow for the correction of what ever was written in 1999 or 2003 to go away, as the Planning Commission will have placed the appropriate zoning on the property for the intended use and the site plan, and the project can move forward without having a cloud over it.

Mr. Worley indicated that Mr. Scamardo was correct, and noted again the reason that the project was before the Commission again, was for the confirmation of the zoning that was previously established for the site as Multi-Family-High, and to reaffirm that the Site Plan that was previously approved, along with the stipulations by the Planning Commission will be moved forward to the City Council for possible approval.

Mr. Scamardo stressed that he firmly feels that the property should be zoned Multi-Family-High.

Mr. Michelman noted that with the lateness of the letters he was only able to briefly skim over the letters and did not see anything new that has not been discussed before. Mr. Michelman then inquired if he had missed something pertinent in the letters.

Mr. Worley noted that the authors of the letters could better address the contents of the letters and that from staffs' perspective the main concern from the two parties, Jennings-Strouss and the applicants' attorney, Thomas P. Kack, was that the rezoning was addressed.

Mr. Michelman indicated that if there was not a major issue there is no reason to delay the vote another week. Mr. Michelman further indicated that it would be good to have the authors of the letters speak to the Commission and inform them of any new information.

Chairman Wiant commented that is why he had inquired at the beginning of the meeting, if anything had changed on the site plan, SI09-002. Chairman Wiant indicated that no changes have taken place with the Site Plan since it was previously approved and the rezoning is the only thing that might need to be discussed.

Mr. Worley indicated that was correct, and reminded the Commissioners that it was a rezoning process and the actions were advertized as a public hearing and it was important to allow public comment. Mr. Worley further noted that the one new thing with the Site Plan was that the zoning was not discussed because it was believed to be in place.

Chairman Wiant opened the item to the public.

Mr. Tom Kack, 1135 Iron Springs Road, Prescott, AZ., indicated that he was speaking on behalf of the Developer, Arcadia Housing, LLC. Mr. Kack noted that they were not all that apposed to the City Attorneys' direction however, they were just not sure that the property is not still zoned Multi-Family-High. Mr. Kack further noted that they understand the cloud issue and that is why they support the City initiated rezoning of the property. Mr. Kack indicated that they had also received a letter from Jennings-Strouss on March 11, 2009 about 9 o'clock in the morning and penned a response to them accordingly. Mr. Kack further indicated that the Jennings-Strouss letter for Las Fuentes, rehashes their objections to the Site Plan, and have added the history of the project. Mr. Kack noted that Jennings-Strouss has commented that because previous developers have not been able to develop the property that it is not developable. Mr. Kack indicated that the comments were not true and that the site is suitable for development and is ready to go. Mr. Kack further indicated that the project was before the Commission to reaffirm the zoning and the project is exactly the same project that the Commission unanimously previously approved. Mr. Kack stressed that in reviewing the history records the vote for the rezoning was unanimous in 1999 and in 2003, and nothing had changed, and there was not reason to postpone the vote on the project. Mr. Kack closed his comments by asking the Planning Commission to please move forward and approve the rezoning because they (Arcadia Housing, LLC) are running out of time to meet their deadlines with HUD in April.

Chairman Wiant indicated that in reviewing the letter from Jennings-Strouss it appeared that the concerns were the same and had not changed. Chairman Wiant added that at this point the Commission is looking at the rezoning.

Mr. Worley commented that staff is asking that the Commission reaffirm the approval of the Site Plan for The Boulders also.

Chairman Wiant responded that will be done and, there really is not an issue with the Site Plan, the zoning is where it becomes clouded. Chairman Wiant called for other public comment, hearing none closed the public comment portion of the item.

Mr. Rosa, MOTION: to recommend approval of Rezone RZ09-003 from Single-Family 9 to Multi-Family High Density.

Mr. Scamardo, 2nd.

Vote: 5-0.

4. **SI09-002, The Boulders, a Prescott Retirement Center, 910 Canterbury Lane.** APNs: 116-19-017, 116-19-017A, 116-19-017B, 116-19-021B, and 116-19-022 and totaling ± 6.27 acres. Request site plan approval for a Planned Area Development (PAD). Owner is Arcadia Housing, LLC. Agent is Civiltec Engineering. Assistant Community Development Director George Worley (928) 777-1287.

Mr. Worley reported that the Site Plan for the Boulders has been given a number from this year for tracking purposes.

Chairman Wiant opened the item for public hearing. Hearing none Chairman Wiant closed the public portion and called for comments, question, or action from the Commissioners.

Mr. Worley reported that staff is seeking to reaffirm the recommendation that was previous given on the site plan and that all the stipulations that were proposed at that time will be transmitted again to the City Council along with the Rezone. Mr. Worley further indicated that the stipulations for the record included an allowed 49 ½ foot building height per the PAD process, valet parking be provided on the site, the buffer between the property along the west will be reduced from the code requirement but the landscaping will be enhanced.

Mr. Michelman started to motion for the rezone and was informed that the motion should be for the Site Plan approval.

Mr. Michelman MOTION: to recommend approval of the Site Plan and Grading Plan for The Boulders, a Prescott Retirement Community, a Planned Area Development. SI09-002, Exhibit A, and subject to the City Development Department Comments in the staff memo dated 2-12-09.

Mr. Scamardo, 2nd.

VOTE: 5-0.

V. CITY UPDATES

Mr. Worley noted that the final plats for Mystic Hills and Prescott Lakes Commerce Center, (conversion of buildings to a condominium plat) have been approved by the City Council.

VI. SUMMARY OF CURRENT OR RECENT EVENTS

None

VII. ADJOURNMENT

Chairman Wiant adjourned the meeting at 10:00 AM.

George Wiant, Chairman

GRADING & LANDSCAPING

Agenda # 2

The Bradshaws

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION PLANNING AND ZONING COMMISSION

STAFF REPORT

Meeting Date: 4/9/09

TO: Board of Adjustment Members
FROM: Tom Guice, Community Development Director
George Worley, Assistant Director
Mike Bacon, Community Planner
DATE: 4/2/09

Request: The Bradshaws Conceptual Grading and Landscape Plan
Parcel No: 110-04-193B (±4.2 acres) **Zoning:** BG-PAD
Location: 125, 127, 129, 131 Bradshaw Drive
Agent/Applicant: Chris Fergis, Fergis and Harding, Inc, 7227 N. 16th St #212,
Phoenix, AZ 85020
Property Owner: Bradshaw Senior Community/Prescott LP, 4745 N. 7th St. #110,
Phoenix, AZ 85014

REQUEST. As a Site Plan Condition of Approval for Phases II-IV of SI-07-003 (see attached plan) by City Council, it is required that the Planning Commission review the grading and landscape plans. The Phase II grading plans are currently in review by City Staff as part of the Building Permit application for this site. There are currently 5 phases to the development of this site. Only Phase I for the 46 unit Senior Apartments has been completed thus far.

Prior Commission Approval

2007, Sept. Approval of grading plan for Phase I of The Bradshaw Senior Community (formerly SI07-001).

STAFF ANALYSIS

Although the number of units in two of the buildings have been reduced from 20 to 16, the Phase II site plan is substantially consistent with the attached site plan approved by Council. All other *Land Development Code* requirements pertaining to the landscape and development of this site have been given to the applicant as part of the Building and Grading permit review process.

Grading Plan. Staff has no specific technical comments to offer the Commission, because the Grading Plan is currently under review and will meet *Land Development Code* requirements prior to the issuance of any Grading Permit.

Landscape Plan. The plant palette reflects and compliments that which was approved for Phase I. Staff offers a condition of approval that the plan additionally offer a significant

number of native trees and shrubs which will promote and retain the native ambience of the area, but also contribute to low water usage and drought tolerance, save existing perimeter trees and native vegetation adjoining the western and southern property lines, protect these trees during the course of construction, and the elimination of turf areas on hillside slopes. These items are not generally covered by the Land Development Code; however, because this is a Site Plan Planned Area Development with further landscape and grading plan review required by the Commission, the Commission may add these conditions.

COMMISSION VOTE

The Commission may vote on this item at its April 9 meeting.

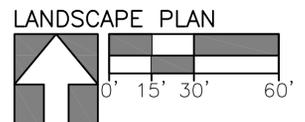
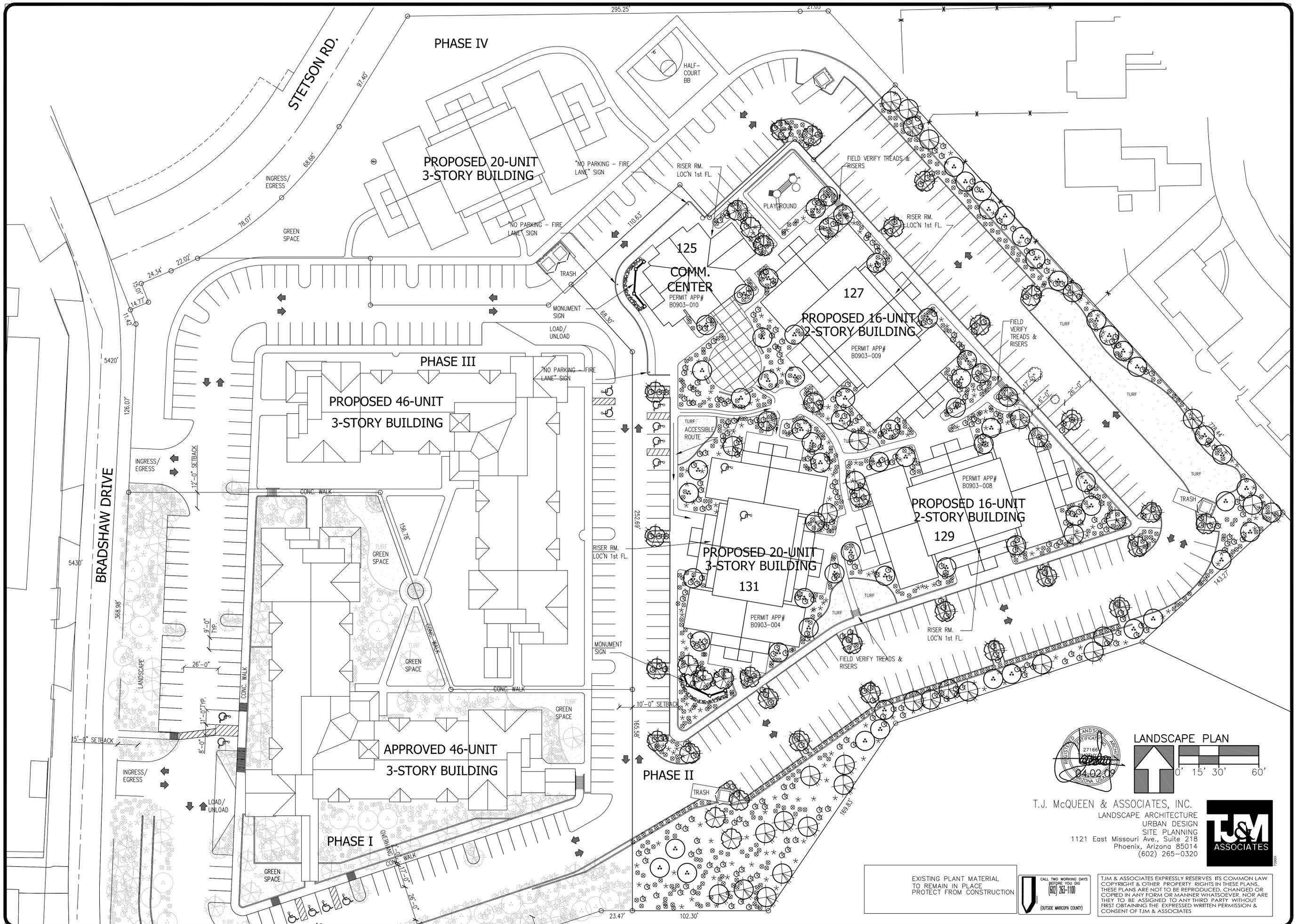
STAFF RECOMMENDATION

Staff recommends approval of the grading and landscape plan subject to the below conditions of approval.

SUGGESTED MOTION

MOVE TO APPROVE the conceptual grading plan and landscape plan for Phase II of the The Bradshaws subject to:

1. City Department review comments of the Building Permit and Grading Permit Applications.
2. Submission of a revised landscape plan for review and approval by the Community Development Department which:
 - A. Illustrates the addition of native plants.
 - B. Retains to the extent possible native vegetation (particularly trees) adjoining the western and southern property lines.
 - C. Illustrates the location of these larger trees which will be saved in 2.B above.
 - D. Provides for the protection of these trees during site construction and grading by and roping an area off beneath each tree which extends to the drip-line (where possible).
 - E. Eliminating turf areas on hillside slopes.



T.J. McQUEEN & ASSOCIATES, INC.
 LANDSCAPE ARCHITECTURE
 URBAN DESIGN
 SITE PLANNING
 1121 East Missouri Ave., Suite 218
 Phoenix, Arizona 85014
 (602) 265-0320



EXISTING PLANT MATERIAL
 TO REMAIN IN PLACE
 PROTECT FROM CONSTRUCTION



TJM & ASSOCIATES EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT & OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION & CONSENT OF TJM & ASSOCIATES

FERGIS & HARDING, INC.
 7227 N. 16TH ST. #212
 PHOENIX, AZ 85020
 PHONE: (602) 795-1693
 FAX: (480) 264-2383



DEVELOPER:
 WESCAP DEVELOPMENT, LLC
 4745 N. 7th ST. #110
 PHOENIX, AZ 85014

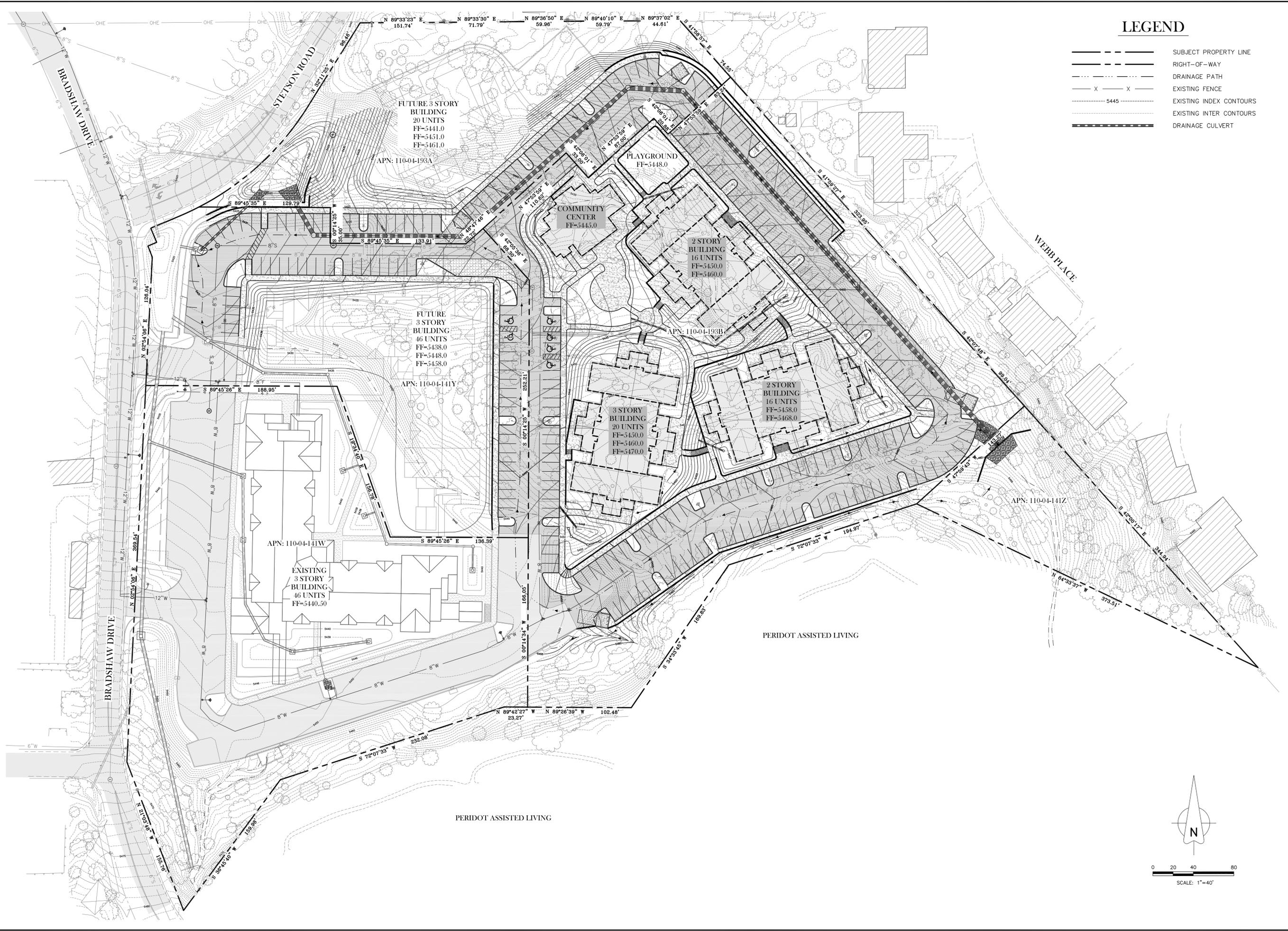
BRADSHAW CROSSING
 FAMILY APARTMENTS
 PRESCOTT, ARIZONA

COPYRIGHT 2007
 REVISIONS:

TITLE: 03003
 PROJECT: MARCH 23, 2009

SHEET:
 L-2

FILE: Z:\Projects\2007\07064-2\07064-2.dwg 07-064 PHASE2 05-PROJ SUMMARY.dwg <<AUTOCAD>> PLOTTED: Mar 18, 2009--4:27pm



LEGEND

- SUBJECT PROPERTY LINE
- RIGHT-OF-WAY
- DRAINAGE PATH
- EXISTING FENCE
- EXISTING INDEX CONTOURS
- EXISTING INTER CONTOURS
- DRAINAGE CULVERT

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 (OUTSIDE MARICOPA COUNTY)

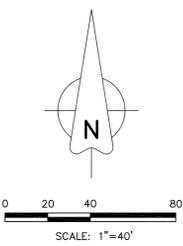
REVISIONS	NUM.	DESCRIPTION	DATE	BY
	1	C.O.P. 1st SUBMITTAL COMMENTS	03/17/09	BH

GRANITE BASIN
 ENGINEERING, INC.
 3605 Coalinga Blvd, Suite 100
 Phoenix, AZ 85018
 928.717.0171
 928.717.0181 fax

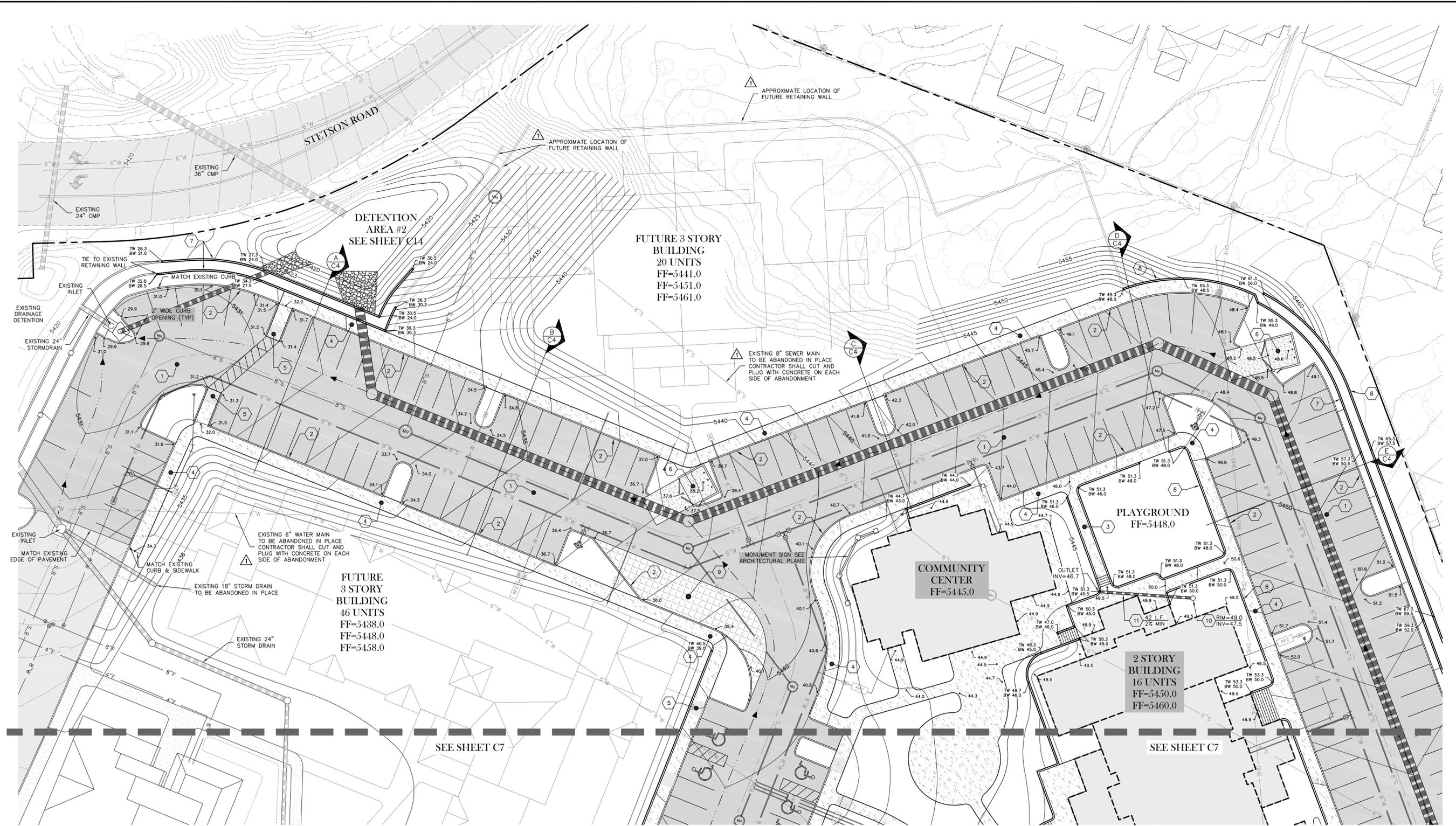
BRADSHAW CROSSING / PRESCOTT LP
 c/o WESCAP DEVELOPMENT, LLC
 4745 N. 7th ST. #110
 PHOENIX, ARIZONA 85014
 BRADSHAW CROSSING FAMILY APARTMENTS
 GRADING, DRAINAGE, & UTILITY PLANS
 PROJECT SUMMARY MAP



JOB:	07064-2
DATE:	03/18/2009
SCALE:	1"=40'
DRAWN:	BH
DESIGNED:	BH
CHECKED:	BH

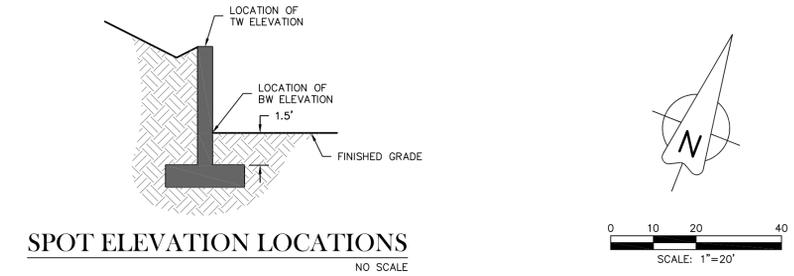


FILE: Z:\Projects\2007\07064-2\DWG\07-064 PHASE2_06-C6 PLAN.dwg <<AUTOCAD>>
 PLOTTED: Mar 18, 2009 - 4:30pm



CONSTRUCTION NOTES

- NOTES:**
1. COVER FOR ALL SEWER LINES SHALL BE A MINIMUM OF 3 FEET PER A.A.C. R18-9-E301(D)(2)(b).
 2. CONTRACTOR TO FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING MAIN LINE CONSTRUCTION. UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY.
 3. MAINTAIN POSITIVE DRAINAGE AWAY FROM OR AROUND ALL BUILDINGS PER PLAN.
 4. ALL BUILDING DOWN DRAINS SHALL BE DIRECTED TO THE STORM DRAIN INLETS.
 5. ALL RETAINING WALLS OVER 4" AND ALL NON-STANDARD C.M.U. WALLS SHALL BE INSPECTED AND CERTIFIED BY A 3RD PARTY SPECIAL INSPECTOR AND THE GEOTECHNICAL ENGINEER OF RECORD.
- | | |
|---|--|
| <ol style="list-style-type: none"> 1 3" ASPHALT CONCRETE OVER 8" AGGREGATE BASE COURSE SUBGRADE PER GEOTECHNICAL REPORT RECOMMENDATIONS. 2 TYPE 'A' VERTICAL CURB PER C.O.P. STANDARD DETAIL 222P. 3 5' WIDE SIDEWALK PER C.O.P. STANDARD DETAIL 230P. 4 6' WIDE SIDEWALK PER C.O.P. STANDARD DETAIL 230P. 5 SIDEWALK RAMP PER M.A.G. STANDARDS WITH A.D.A. DETECTABLE WARNINGS - MASCO CAST IN TACT (SALEM RED) OR APPROVED EQUAL. 6 SANITATION DUMPSTER ENCLOSURE PER C.O.P. STANDARD DETAIL 4-15P. | <ol style="list-style-type: none"> 7 RETAINING WALL PER STRUCTURAL PLANS. 8 RETAINING WALL PER STRUCTURAL PLANS WITH SAFETY RAILING PER M.A.G. STANDARD DETAIL 145 WITH PAINT COLOR PER OWNER. 9 6" THICK STAMPED CONCRETE WITH PAINT COLOR PER OWNER. 10 12" DIAMETER INLET W/ GRATE, NYLOPLAST OR APPROVED EQUAL. 11 8" DIAMETER SMOOTH BORE HDPE STORM DRAIN, ADS OR APPROVED EQUAL. TRENCHING AND BEDDING PER C.O.P. STANDARD DETAIL 2-02P. |
|---|--|



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 1-800-782-5348
 (OUTSIDE MARICOPA COUNTY)

REVISIONS	
NUM.	DESCRIPTION
1	C.O.P. 1st SUBMITTAL COMMENTS

<input checked="" type="checkbox"/> FOR REVIEW ONLY <input type="checkbox"/> FOR BID ONLY <input type="checkbox"/> FOR APPROVAL ONLY <input type="checkbox"/> FOR RECORDING ONLY <input type="checkbox"/> FOR CONSTRUCTION ONLY <input type="checkbox"/> FOR AS-BUILT ONLY	DATE 03/17/09	BY BH
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BRADSHAW CROSSING / PRESCOTT LP
 c/o WESCAP DEVELOPMENT, LLC
 4745 N. 7th ST. #110
 PHOENIX, ARIZONA 85014
 BRADSHAW CROSSING FAMILY APARTMENTS
 GRADING, DRAINAGE & UTILITY PLANS
 GRADING & DRAINAGE PLAN



JOB:	07064-2
DATE:	03/18/2009
SCALE:	1"=20'
DRAWN:	BH
DESIGNED:	BH
CHECKED:	BH

FILE: Z:\Projects\2007\07064-2\DWG\07-09 PHASE2 07-09 PLAN.dwg <AUTOCAD>>
 PLOTTED: Mar 18, 2009 - 4:32pm

SEE SHEET C6

SEE SHEET C6

SEE SHEET C6



**FUTURE
3 STORY
BUILDING
46 UNITS
FF=5438.0
FF=5448.0
FF=5458.0**

**2 STORY
BUILDING
16 UNITS
FF=5450.0
FF=5460.0**

**3 STORY
BUILDING
20 UNITS
FF=5460.0
FF=5470.0**

**2 STORY
BUILDING
16 UNITS
FF=5458.0
FF=5468.0**

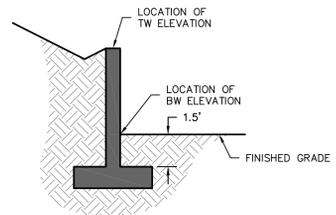
**EXISTING
BUILDING**

MONUMENT SIGN SEE
ARCHITECTURAL PLANS

**DETENTION
AREA #3
SEE SHEET C14**

- NOTES:**
- COVER FOR ALL SEWER LINES SHALL BE A MINIMUM OF 3 FEET PER A.A.C R18-9-E301(D)(2)(b).
 - CONTRACTOR TO FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING MAIN LINE CONSTRUCTION. UTILITY LOCATIONS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY.
 - MAINTAIN POSITIVE DRAINAGE AWAY FROM OR AROUND ALL BUILDINGS PER PLAN.
 - ALL BUILDING DOWN DRAINS SHALL BE DIRECTED TO THE STORM DRAIN INLETS.
 - ALL RETAINING WALLS OVER 4' AND ALL NON-STANDARD C.M.U. WALLS SHALL BE INSPECTED AND CERTIFIED BY A 3RD PARTY SPECIAL INSPECTOR AND THE GEOTECHNICAL ENGINEER OF RECORD.

- CONSTRUCTION NOTES**
- | | | | |
|---|--|----|---|
| 1 | 3" ASPHALT CONCRETE OVER 8" AGGREGATE BASE COURSE SUBGRADE PER GEOTECHNICAL REPORT RECOMMENDATIONS. | 7 | RETAINING WALL PER STRUCTURAL PLANS. |
| 2 | TYPE 'A' VERTICAL CURB PER C.O.P., STANDARD DETAIL 222P. | 8 | RETAINING WALL PER STRUCTURAL PLANS WITH SAFETY RAILING PER M.A.G. STANDARD DETAIL 145 WITH PAINT COLOR PER OWNER. |
| 3 | 5' WIDE SIDEWALK PER C.O.P., STANDARD DETAIL 230P. | 10 | 12" DIAMETER INLET W/ GRATE, NYLOPLAST OR APPROVED EQUAL. |
| 4 | 6' WIDE SIDEWALK PER C.O.P., STANDARD DETAIL 230P. | 11 | 8" DIAMETER SMOOTH BORE HDPE STORM DRAIN, ADS OR APPROVED EQUAL. TRENCHING AND BEDDING PER C.O.P., STANDARD DETAIL 2-02P. |
| 5 | SIDEWALK RAMP PER M.A.G. STANDARDS WITH A.D.A. DETECTABLE WARNINGS - MASCO CAST IN TACT (SALEM RED) OR APPROVED EQUAL. | 12 | 4" (SDR-35 PVC) OR APPROVED EQUAL. TRENCHING AND BEDDING PER C.O.P., STANDARD DETAIL 2-02P. |
| 6 | SANITATION DUMPSTER ENCLOSURE PER C.O.P., STANDARD DETAIL 4-15P. | | |



SPOT ELEVATION LOCATIONS
NO SCALE



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NUM.	DESCRIPTION	DATE	BY
1	C.O.P. 1st SUBMITTAL COMMENTS	03/17/09	BH

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 FOR BID ONLY
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 FOR RECORDING ONLY
 FOR CONSTRUCTION ONLY
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 ENGINEERING, INC.
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 c/o WESCAP DEVELOPMENT, LLC
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 GRADING, DRAINAGE & UTILITY PLANS
 GRADING & DRAINAGE PLAN

JOB: 07064-2
 DATE: 03/18/2009
 SCALE: 1"=20'
 DRAWN: BH
 DESIGNED: BH
 CHECKED: BH

C7

Revisions to Standard Details for Public Works Infrastructure

AGENDA

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
April 9, 2009

STAFF REPORT

TO: Planning Commission Members

FROM: Mark Nietupski, Public Works Director
Scott Tkach, City Engineer
Richard A. Mastin, Development Services Manager

Date: March 31, 2009

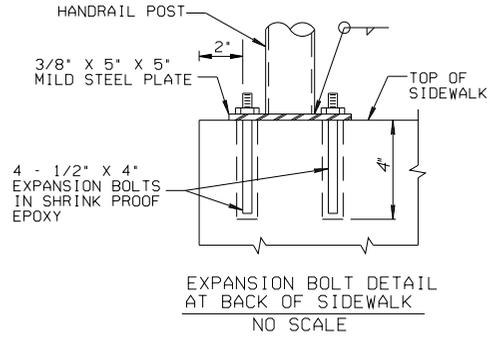
BACKGROUND: Public Works, in an effort to improve street and utility infrastructure, is submitting the attached Revisions to Standard Details to the Planning Commission for consideration and approval. These Details were presented to the UDC Committee on March 26, 2009 and received an approval.

Most of the City's Public Works Construction Details were taken from and adaptations of Details from Maricopa Association of Governments (MAG) and Yavapai Association of Governments (YAG). The YAG Details were last revised in 1998, therefore Public Works has initiated the process of revising the MAG and YAG Details to create a City of Prescott Standard Details which are better suited to the Prescott area and be consistent with Details used in the Capital Improvement Projects.

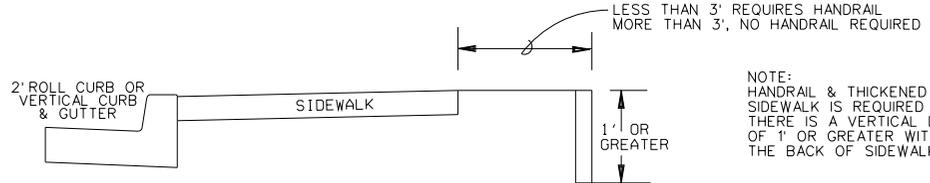
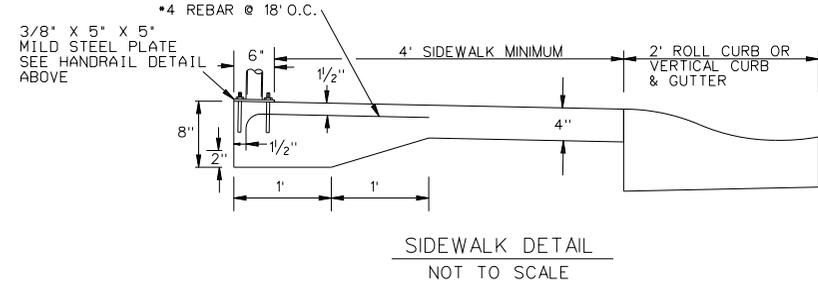
The attached Revisions to Standard Details have been presented to the engineering and contracting community during several meetings. Their respective concerns and comments have been addressed.

STAFF RECOMMENDATION:

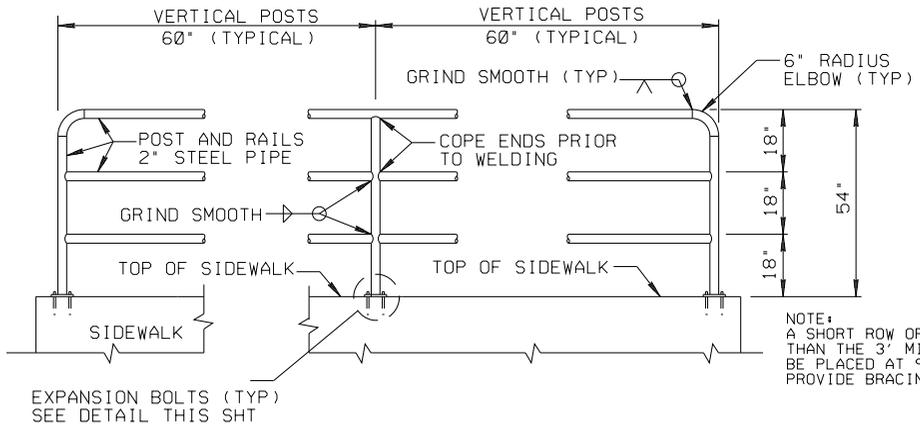
Staff recommends the Planning & Zoning Commission forward this amendment to the City Council with a recommendation for approval.



HANDRAIL DETAIL/TOP OF SIDEWALK OR WALL
NOT TO SCALE



NOTE:
HANDRAIL & THICKENED EDGE SIDEWALK IS REQUIRED WHEREVER THERE IS A VERTICAL DROPOFF OF 1' OR GREATER WITHIN 3' OF THE BACK OF SIDEWALK



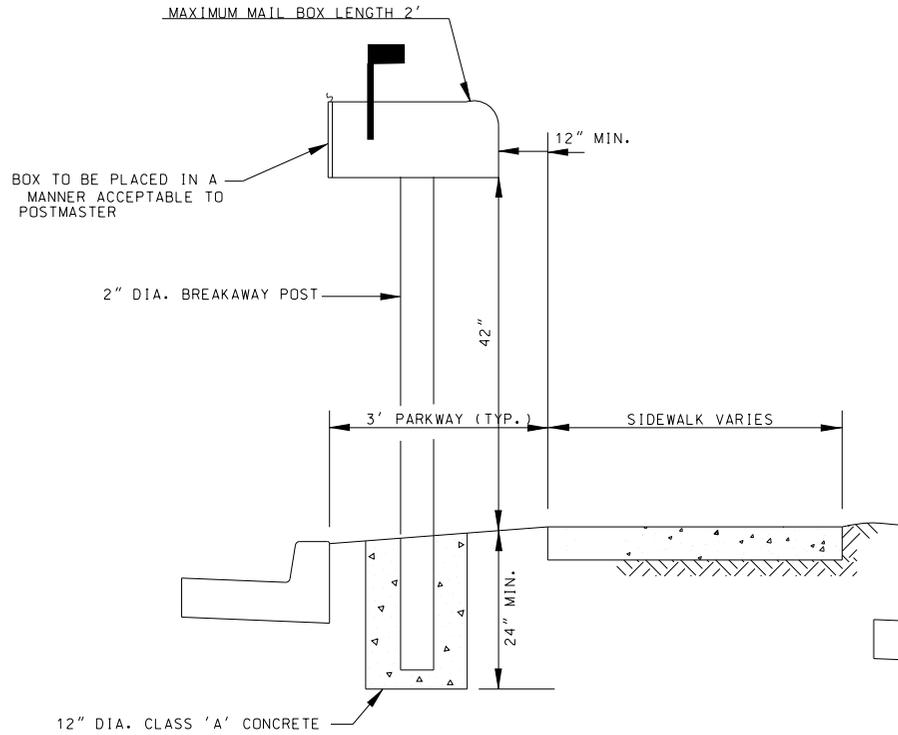
NOTE:
A SHORT ROW OF RAIL LESS THAN THE 3' MIN. LENGTH CAN BE PLACED AT 90° TO RAIL TO PROVIDE BRACING WHEN NEEDED.

RAILING NOTES:

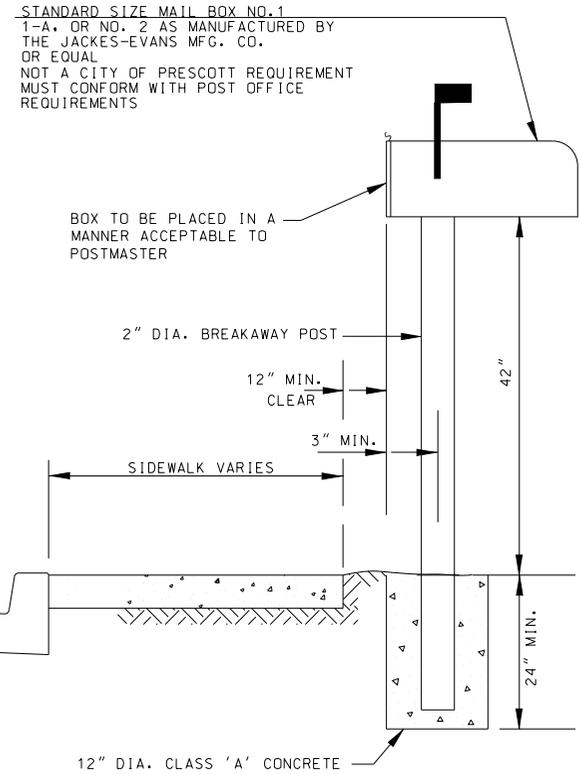
1. ALL WELDING SHALL BE IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY (AWS) D1.1 USING E70XX ELECTRODES.
2. POSTS SHALL BE INSTALLED VERTICALLY & EVENLY SPACED. RAILINGS SHALL BE INSTALLED SO THAT THEY ARE PARALLEL TO THE TOP OF SIDEWALK
3. STEEL PIPE SHALL BE COATED WITH AN ULTRAVIOLETLY CURED CROSS LINK ACRYLIC COATING. COVERAGE SHALL BE 100%. THIS COATING SHALL SERVE AS A PRIMER FOR THE FINAL COAT APPLIED IN THE FIELD. FINAL COAT SHALL BE 'PRESCOTT TAN' OR APPROVED EQUAL.
4. ALL PIPE SHALL BE 14 GAUGE MEETING THE REQUIREMENTS OF ASTM 135 GRADE 48 (FY.48 KSI)
5. TOP RAIL ON END POSTS SHALL HAVE A 6" OUTSIDE RADIUS.
6. ADHESIVE STRIP REFLECTIVE BANDS (3 EA. POST) SHALL BE PLACED CENTERED BETWEEN HORIZONTAL POSTS ON EACH VERTICAL END POST OF HANDRAILS.
7. A.D.O.T. HANDRAIL DETAIL B-22.40 & 41 MAY BE SUBSTITUTED ONLY WITH APPROVAL OF THE CITY ENGINEER
8. SQUARE TUBING 2" X 2" X 0.188" MAY BE SUBSTITUTED ONLY WITH APPROVAL OF THE CITY ENGINEER

REVISED 03/09

DETAIL NO. 1-01P	COP STANDARD DETAIL	HANDRAIL	DETAIL NO. 1-01P
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MAILBOX WITH PARKWAY



MAILBOX BEHIND SIDEWALK

NOTES:

SOLID OR ANCHORED STRUCTURES IN RIGHT-OF-WAY SHALL BE BREAKAWAY CONSTRUCTION TO LIMIT DAMAGE & INJURIES.

ANY DEVIATION FROM THIS DETAIL OR STANDARD MAILBOX MUST BE APPROVED BY THE CITY ENGINEER.

DETAIL NO.
1-08P

COP STANDARD DETAIL

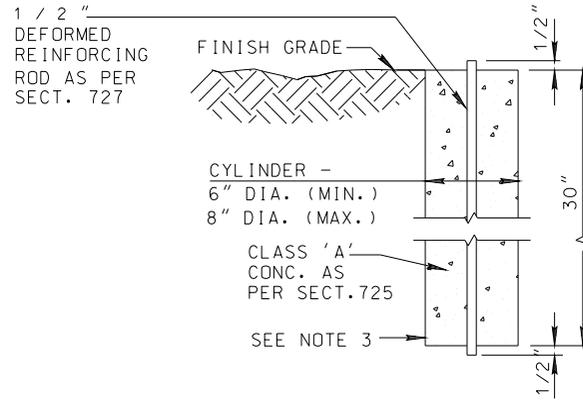
CITY OF PRESCOTT URBAN MAIL BOX

REV. 02/09

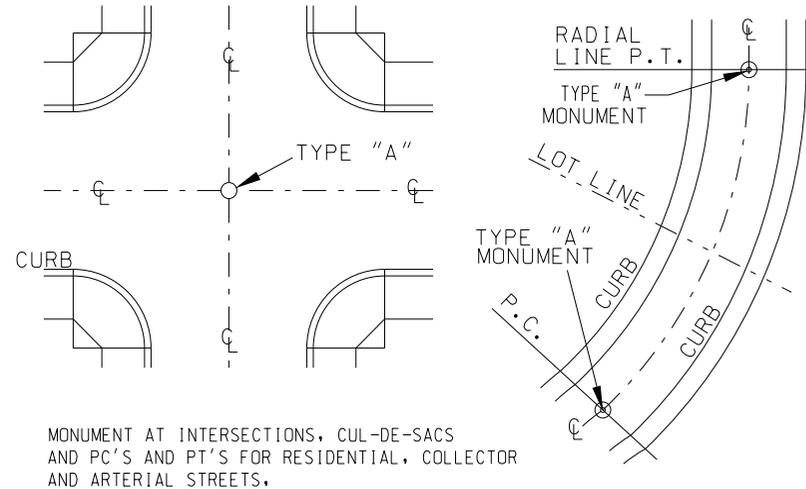
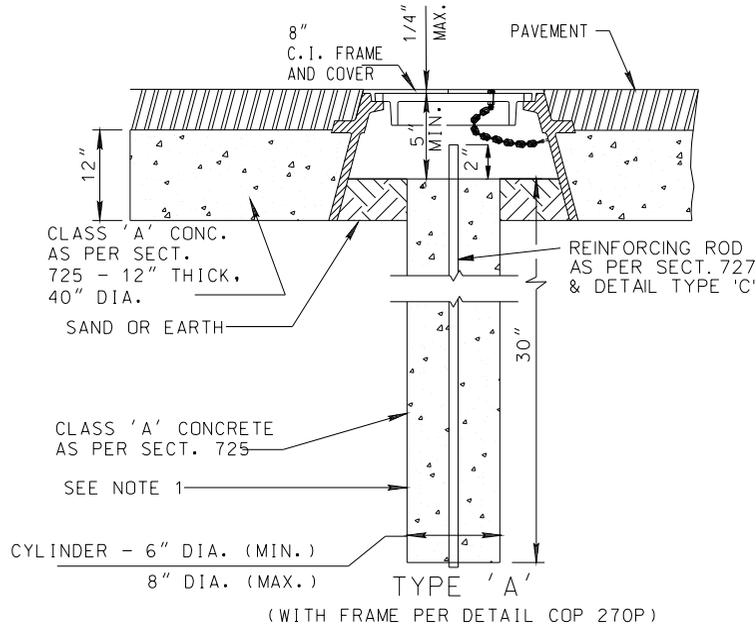
DETAIL NO.
1-08P

NOTES:

1. TYPE 'A' TO BE USED AT INTERSECTION OF STREET CENTERLINES, CORNERS OR CHANGES IN ALIGNMENT OF SUBDIVISION BOUNDARIES (WHEN THEY FALL IN PAVEMENT), P.C.'S AND P.T.'S OF CURVES, AND AT OTHER POINTS AS SHOWN ON PLANS.
2. TYPE 'C' TO BE USED AT PC, PT, AND PI POINTS ON RIGHT-OF-WAY AND SUBDIVISION BOUNDARIES WHERE SUCH POINTS FALL OUTSIDE OF PAVED AREAS ONLY.
3. FRAME & COVER TO INCLUDE CHAIN PER COP DET. 270P. (OPTIONAL PER AGENCY REQUIREMENTS.)



TYPE 'C'
OUTSIDE PAVED AREAS ONLY



MONUMENT AT INTERSECTIONS, CUL-DE-SACS AND PC'S AND PT'S FOR RESIDENTIAL, COLLECTOR AND ARTERIAL STREETS.

revised 01/09

DETAIL NO.
120-1P

COP STANDARD DETAIL

SURVEY MARKER

DETAIL NO.
120-1P

MILLED AREA REQUIRED TO ACCOMODATE TRENCH PLATES FOR VEHICULAR ACCESS, MILL EXISTING AC TO ACCEPT TRENCH PLATES (1' MIN.) ON BOTH SIDES OF TRENCH.

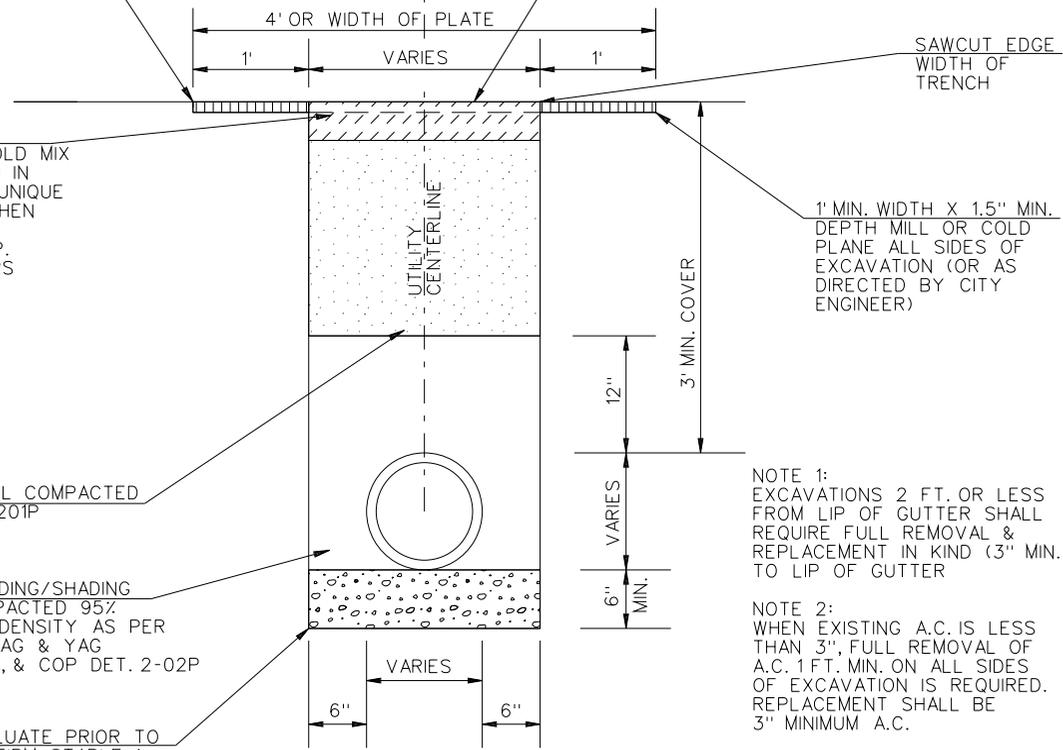
AC TRENCH PAVEMENT REPLACEMENT AS PER YAG & MAG SECTION 601.5 & 336 3/8" CHIP SEAL ON RESIDENTIAL STREETS ONLY.

REMOVE EXISTING PVMT. & REPLACE WITH NEW M.A.G. C-1/2 AC. THE USE OF COLD MIX FOR TEMPORARY PATCHES IS NOT ALLOWED IN C.O.P. PUBLIC RIGHT OF WAYS. U.P.M. (MFG. UNIQUE PAVING MATERIALS) MAY BE SUBSTITUTED WHEN HOT MIX AC IS UNAVAILABLE OR INCLEMENT WEATHER CONDITIONS EXIST. CONTACT C.O.P. FIELD OPERATIONS FOR A LIST OF SUPPLIERS MATCH AC THICKNESS IN KIND (3" MIN.) COMPACTED 95% ASTM D-1559. ALL AREAS OF EXISTING AC SHALL BE TACK COATED AS PER M.A.G. SPECIFICATIONS. 1 1/2" TEE SHALL BE MONOLITHIC.

NON-SHRINK SLURRY BACKFILL COMPACTED IN 1' LIFTS PER COP DETAIL 201P (PAVED ROADS ONLY)

GRANULAR BEDDING/SHADING MATERIAL, COMPACTED 95% MAXIMUM DRY DENSITY AS PER ASTM D-698, MAG & YAG SPECIFICATIONS, & COP DET. 2-02P

CITY ENGINEER SHALL EVALUATE PRIOR TO PLACEMENT OF MATERIAL. FIRM, STABLE & UNIFORM SUPPORT REQUIRED FOR FULL PIPE LENGTH, COMPACTED TO 95% DEPENDING ON MATERIAL.

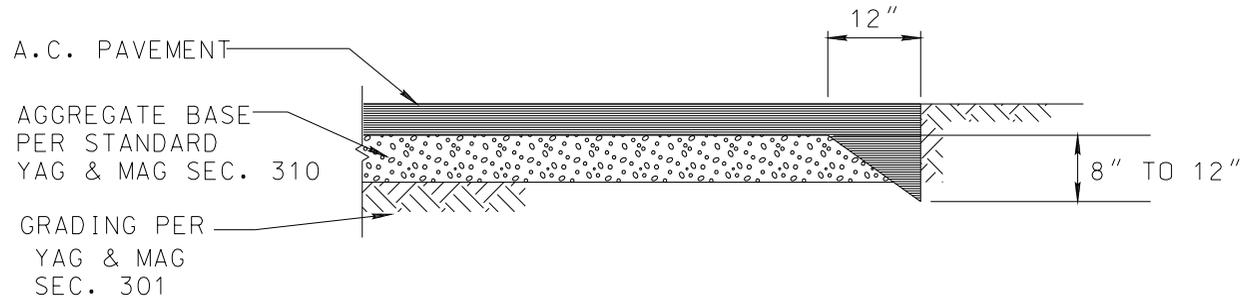


NOTE 1:
EXCAVATIONS 2 FT. OR LESS FROM LIP OF GUTTER SHALL REQUIRE FULL REMOVAL & REPLACEMENT IN KIND (3" MIN.) TO LIP OF GUTTER

NOTE 2:
WHEN EXISTING A.C. IS LESS THAN 3', FULL REMOVAL OF A.C. 1 FT. MIN. ON ALL SIDES OF EXCAVATION IS REQUIRED. REPLACEMENT SHALL BE 3" MINIMUM A.C.

SEE SHEET 2 OF R.O.W. PERMIT FOR WARRANTY REQUIREMENTS

DETAIL NO. 2-01P		C.O.P. STANDARD DETAIL	'T' TOP UTILITY TRENCH	REVISED 02/09 DETAIL NO. 2-01P
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NOTES:

1. THICKENED EDGE REQUIRED AT ALL TRANSVERSE TERMINATIONS OF PAVING AND AT LONGITUDINAL EDGES FOR ASPHALT PAVEMENTS UNCONFINED BY CURB & GUTTER.
2. MATCHLINE TO EXISTING PAVEMENTS SHALL BE SKEWED OR OFFSET FOR SMOOTHER TRANSITION. LOCATION OF SAWCUT SHALL BE AS DIRECTED BY CITY ENGINEER OR HIS DESIGNEE.
3. EXISTING EDGES SHALL BE UNDISTURBED NATIVE, FIRM, & UNYEILDING SOIL OR FORMED TO PROVIDE FULLY COMPACTED STRAIGHT EDGES.

REVISED 01/09

DETAIL NO.
201P

COP STANDARD DETAIL

THICKENED EDGE PAVEMENT SECTION

DETAIL NO.
201P

NOTES:

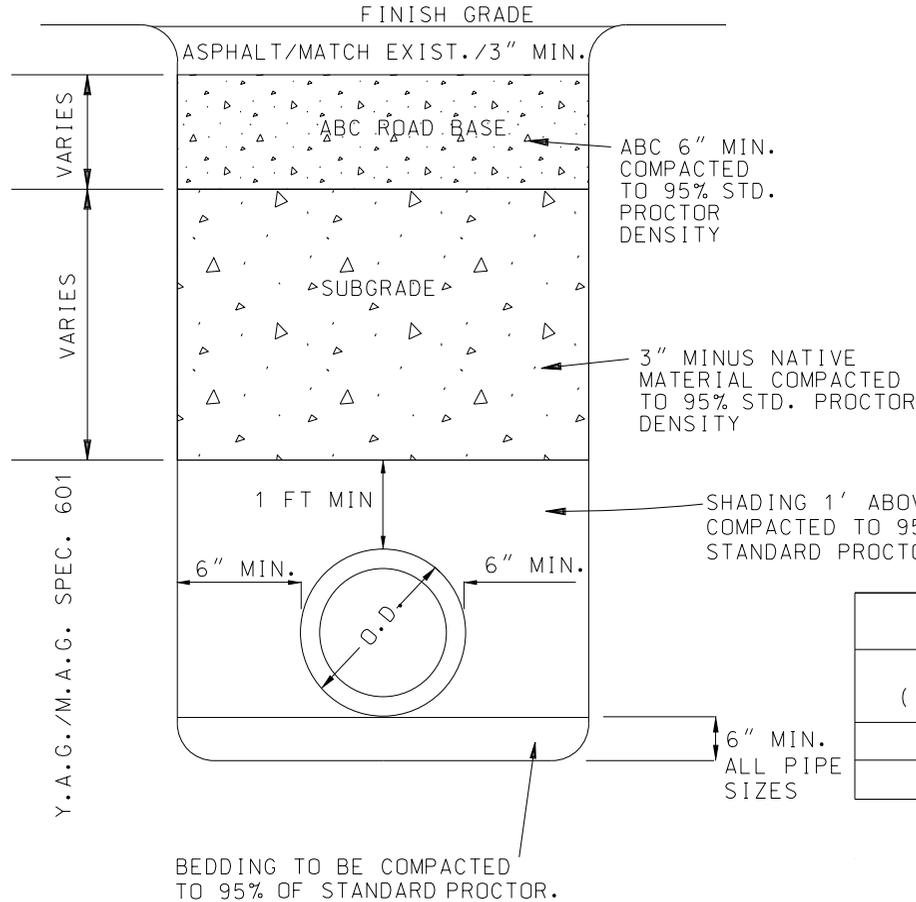
COMPACTION TESTING SHALL BE ACCOMPLISHED AT A MINIMUM OF ONE PER 200' OF TRENCH PER 1' LIFT OR AT THE DISCRETION OF THE INSPECTOR AS CONDITIONS MAY DICTATE.

VOLCANIC CINDERS OR CRUSHED GLASS MATERIALS ARE NOT ACCEPTABLE. USE OF OPEN GRADED 3/8" PEA GRAVEL OR 3/4" CRUSHED ROCK MUST BE APPROVED BY THE AGENCY PRIOR TO PLACEMENT.

ANY DEVIATION FROM THIS STANDARD DETAIL MUST BE APPROVED BY THE AGENCY ENGINEER.

A 2' MIN. SEPARATION IS REQUIRED BETWEEN WATER LINES & ALL OTHER UTILITIES.

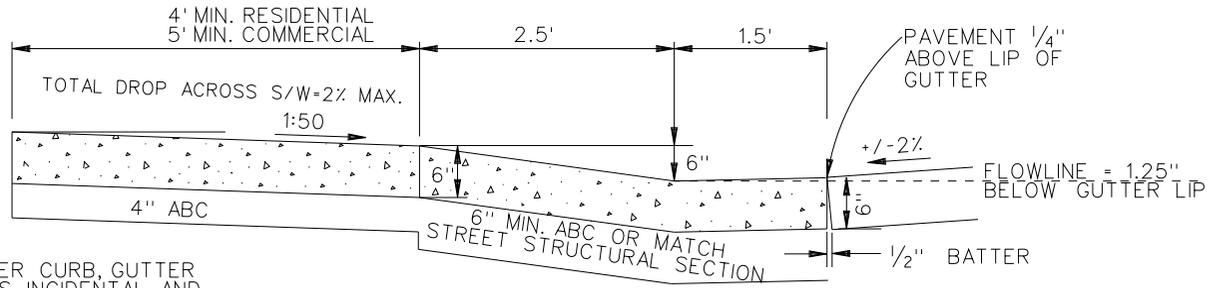
TRACER WIRE SHALL BE INSTALLED AS PER CITY OF PRESCOTT STANDARD REQUIREMENTS.



ACCEPTABLE BEDDING/SHADING MATERIAL	
SIEVE SIZE (SQUARE OPENING)	PERCENTAGE BY WEIGHT PASSING SIEVE
1", NO. 200	100, <25
PI	10 MAX

revised 03/09

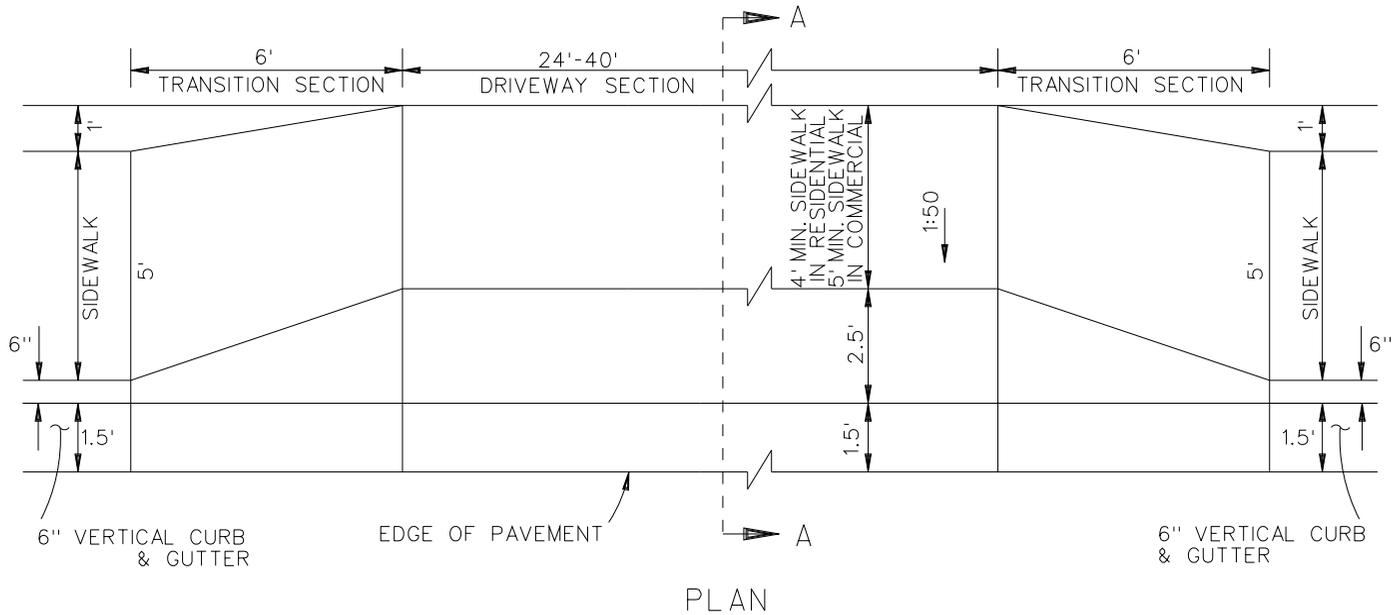
DETAIL NO. 2-02P	COP STANDARD DETAIL	TRENCH BEDDING FOR SINGLE UTILITY TRENCH UNDERGROUND CONDUIT, WATER, SEWER, & STORM DRAIN	DETAIL NO. 2-02P
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NOTE:
ALL ABC UNDER CURB, GUTTER
& SIDEWALK IS INCIDENTAL AND
NOT A SEPARATE PAY ITEM.

SECTION A-A

NOTE:
ALL CONCRETE SHALL
BE CLASS 'A' & FOLLOW
YAG & MAG SECTIONS
505,725, & 726



REVISED 01/09

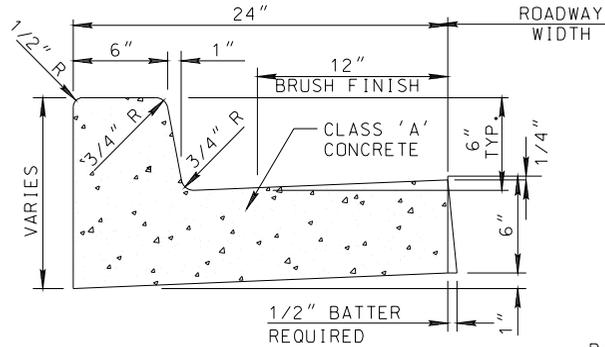
DETAIL NO.
2-19P

COP STANDARD DETAIL

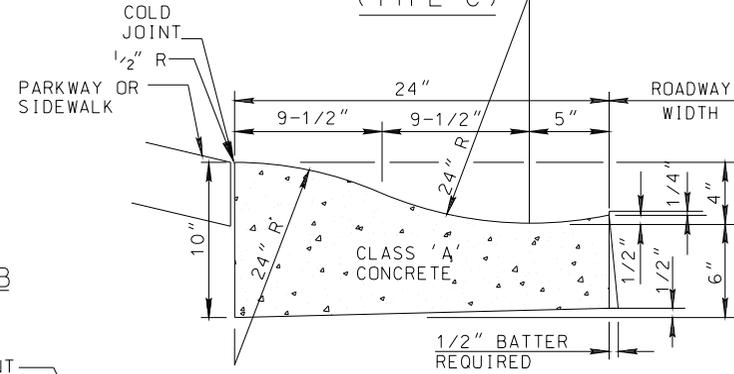
MODIFIED VERTICAL CURB DRIVEWAY

DETAIL NO.
2-19P

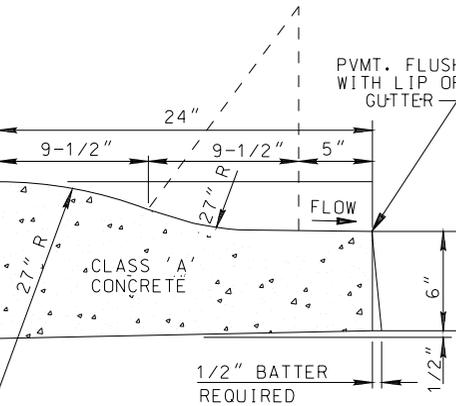
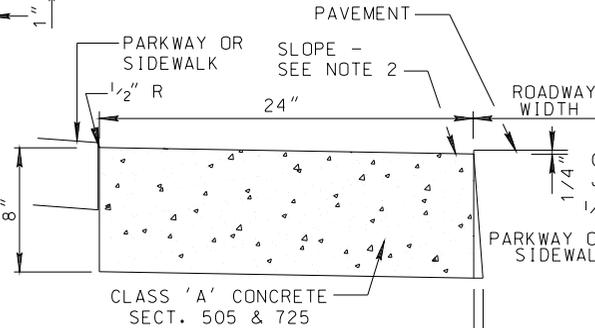
VERTICAL CURB AND GUTTER
(TYPE A)



ROLL CURB AND GUTTER
(TYPE C)



RIBBON CURB
(TYPE B)



NOTES:

1. ALL EXPOSED SURFACES TO BE TROWEL FINISHED EXCEPT AS SHOWN. SEE SEC. 340 & 505 & 725
2. HEIGHT OF TYPE 'A' CURB SHALL BE 6" UNLESS SPECIFIED ON PLANS
3. CONTRACTION JOINT SPACING 10' MAXIMUM.
4. EXPANSION JOINTS AS PER SECT. 340. 50' MAX. AT P.C., DWY., ALLEYS & STRUCTURES
5. 4" MINIMUM OF ABC SHALL EXTEND TO BACK OF CURB BELOW ALL CURB & GUTTER.
6. IN NEW CONSTRUCTION, UTILITY FEATURES SHALL NOT BE LOCATED IN CURB, GUTTER OR SIDEWALK.
7. 1/4" ROUND FINISH SHALL BE REQUIRED AT LIP OF GUTTER, ALL DETAILS.
8. ALL PAVEMENT SHALL BE 1/4" ABOVE CURBS EXCEPT WHERE ACFC IS SPECIFIED TO BE PLACED & TYPE 'D'.

NOTES:

1. CONSTRUCT CURB AND INSTALL 1/2" MASTIC EXPANSION JOINTS, A.S.T.M. D-1751. SECT. 340.
2. RIBBON CURB MAY SLOPE TOWARDS PAVEMENT OR PARKWAY AS INDICATED ON PLANS.

(TYPE D)
SPECIAL SECT. USE FOR HIGH SIDE CURB WITH SHEET DRAINAGE REVERSE FLOW ACROSS STREET

DETAIL NO.

220P

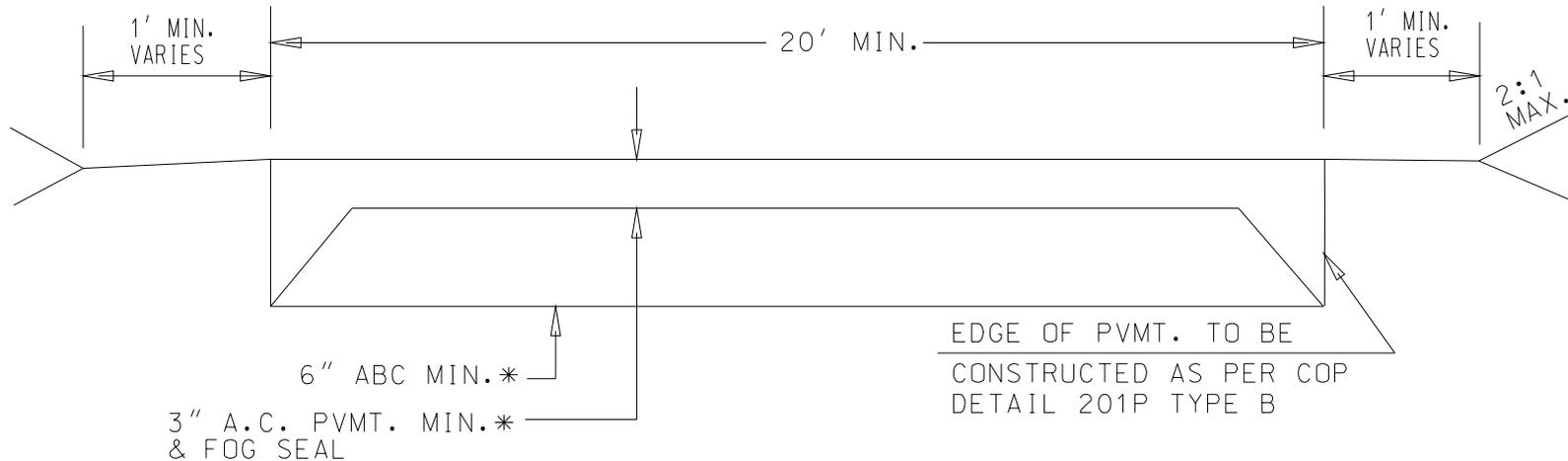
COP STANDARD DETAIL

CURB AND GUTTER - TYPES A, B, C AND D

REVISED 01/09

DETAIL NO.

220P

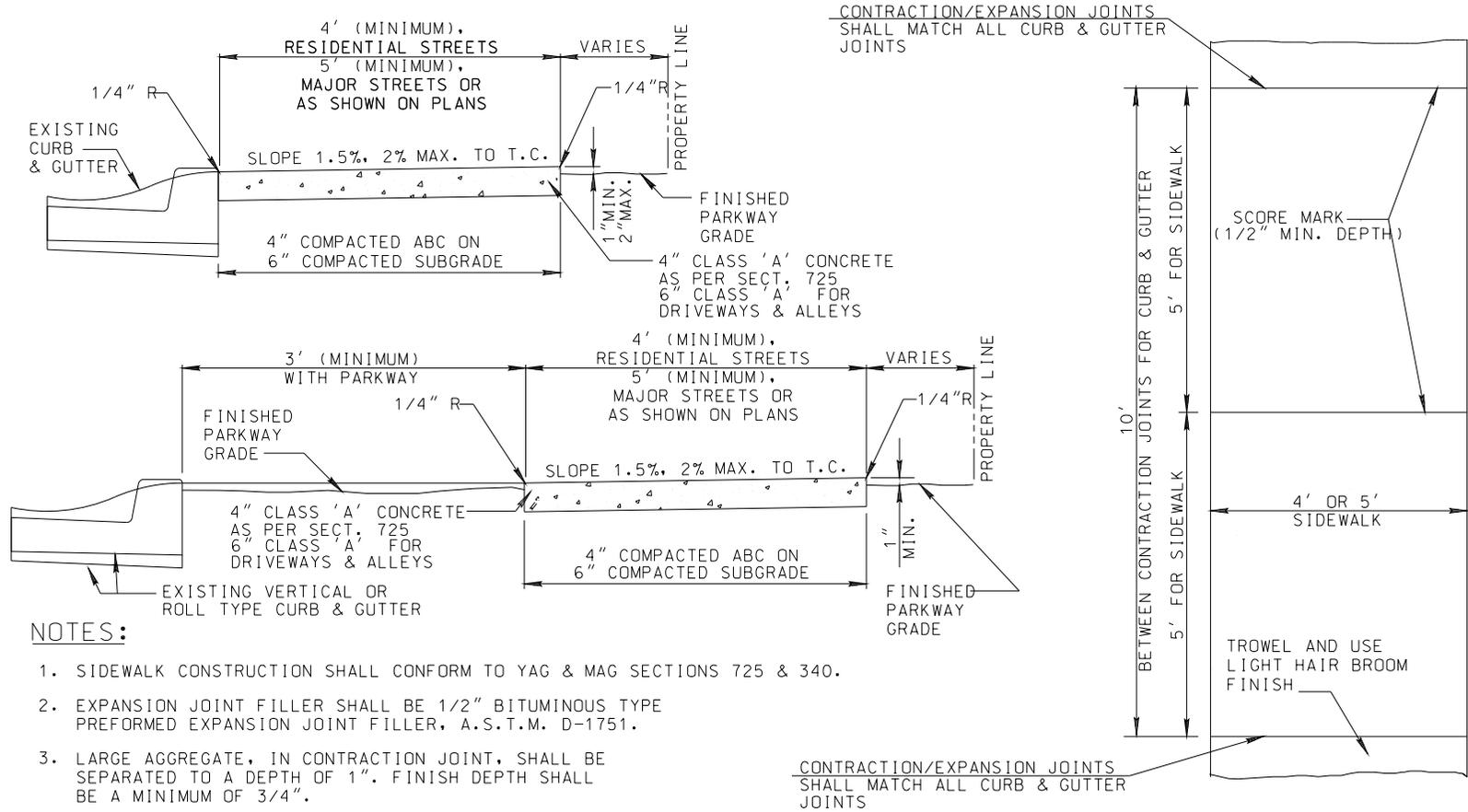


TYPICAL CROSS SECTION
(NO SCALE)

* NOTE:
ACTUAL STRUCTURAL SECTION SHALL
BE DETERMINED BY GEO-TECHNICAL
ENGINEER & DESIGNED FOR HEAVY
EQUIPMENT

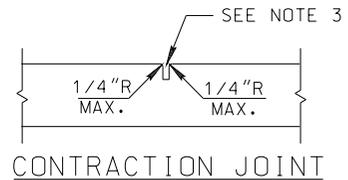
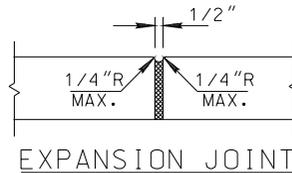
REVISED 01/09

DETAIL NO. 2-27P	COP STANDARD DETAIL	ACCESS FIRE LANE	DETAIL NO. 2-27P
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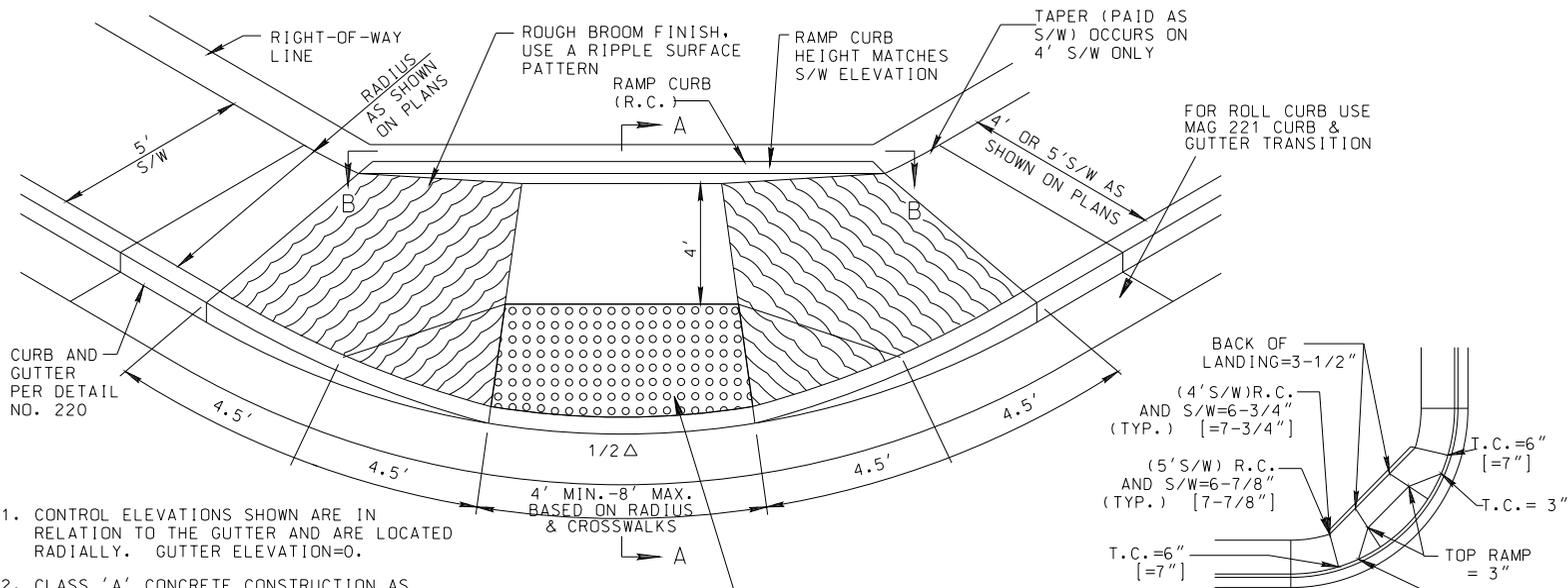


NOTES:

1. SIDEWALK CONSTRUCTION SHALL CONFORM TO YAG & MAG SECTIONS 725 & 340.
2. EXPANSION JOINT FILLER SHALL BE 1/2" BITUMINOUS TYPE PREFORMED EXPANSION JOINT FILLER, A.S.T.M. D-1751.
3. LARGE AGGREGATE, IN CONTRACTION JOINT, SHALL BE SEPARATED TO A DEPTH OF 1". FINISH DEPTH SHALL BE A MINIMUM OF 3/4".
4. EXPANSION JOINT 50' MAX. SPACING PER SECT. 340 & AT ALL P.C.'S, DRIVEWAYS, ALLEYS, & STRUCTURES.
5. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM PER SECT. 301. MOISTURE TO BE 2% OVER OPTIMUM IN COHESIVE SOILS.
6. 4" MINIMUM OF ABC SHALL EXTEND TO BACK OF SIDEWALK.
7. IN NEW CONSTRUCTION, UTILITY FEATURES SHALL NOT BE LOCATED IN CURB, GUTTER OR SIDEWALK.



DETAIL NO. 230P	COP STANDARD DETAIL	SIDEWALKS		REVISED 01/09 DETAIL NO. 230P
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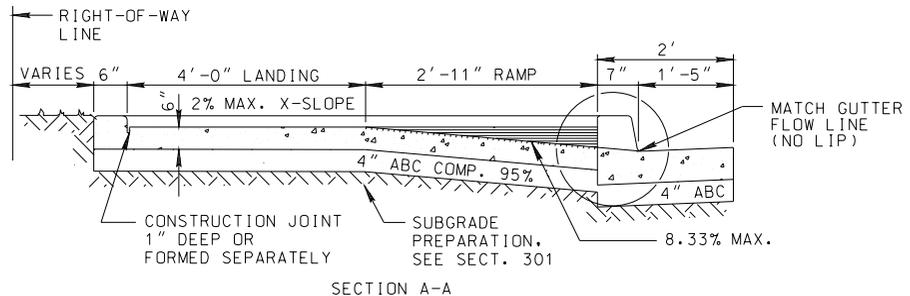
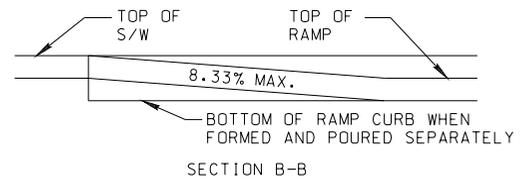


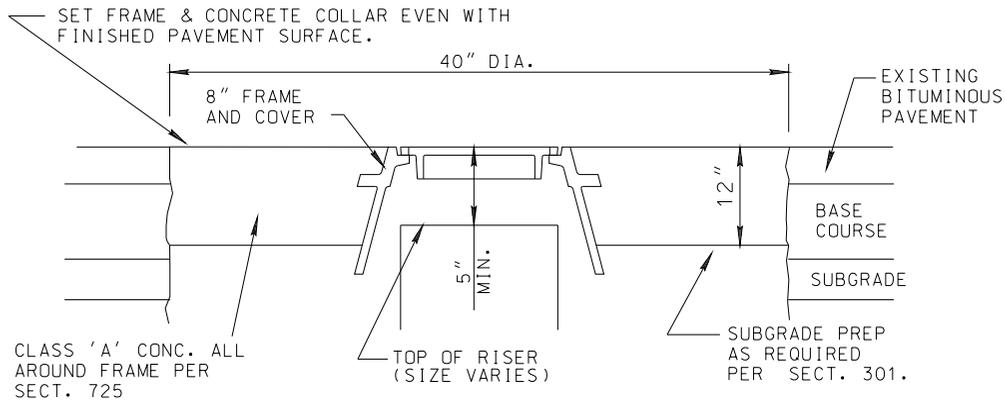
- CONTROL ELEVATIONS SHOWN ARE IN RELATION TO THE GUTTER AND ARE LOCATED RADially. GUTTER ELEVATION=0.
- CLASS 'A' CONCRETE CONSTRUCTION AS PER YAG & MAG SECTIONS 725 & 340.
- ADOT DETAIL C-05.30 SHALL BE USED FOR RAMPS WITH TRAFFIC SIGNAL POLES.
- SIDEWALK 10' BOTH SIDES OF RAMP, INCLUDING RAMP, SHALL BE 6" CONCRETE.
- LENGTH OF WINGS VARY WITH RUNNING SLOPE OF ROADS. SEE WING LENGTH TABLE. MAXIMUM SLOPE OF RAMPS SHALL NOT EXCEED A.D.A. REQUIRED 8.33%.

DETECTABLE WARNING PANEL OF TRUNCATED DOMES: MASCO CASTINTACT OR APPROVED EQUAL; COLOR SALEM RED

WING LENGTH TABLE

CURB FACE	RADIUS (FT)	SIDE SLOPE	X	T.C. GRADE (ALONG CURB RETURN)					
				1%	2%	3%	4%	5%	6%
6"	25'	8.33%	X _S	5.4'	4.9'	4.5'	4.1'	3.8'	3.5'
			X _L	6.9'	7.9'	9.4'	11.6'	15.0'	15.0'

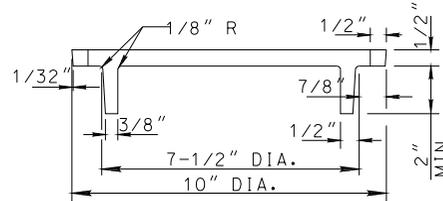




COMPACTION TO CONFORM TO SECT. 301 OR 601.

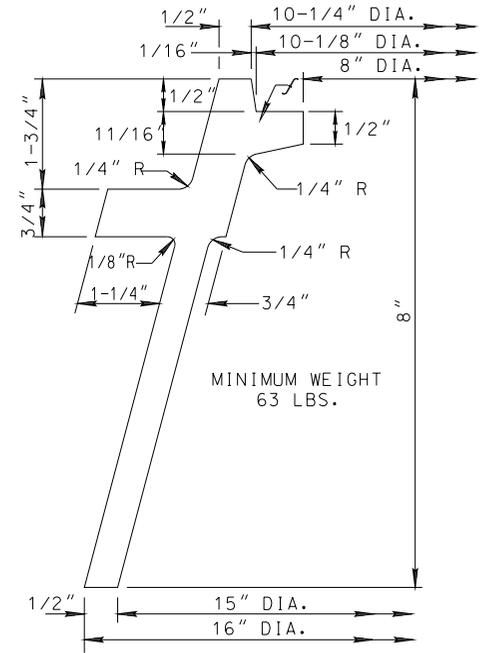
SEWER CLEANOUT
FRAME AND GRADE ADJUSTMENT

LETTERS ON COVER TO BE AS FOLLOWS:
"SEWER" OR AS DIRECTED,
TOTAL WIDTH OF WORD "SEWER" SHALL BE 3-3/4".
LETTER SIZE 5/8" X 3/4", RAISED 1/16" ABOVE LEVEL OF COVER. TYPE OF LETTERS TO BE SUBMITTED FOR APPROVAL.

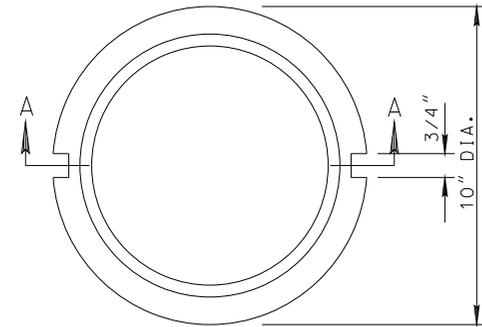


COVER SECTION A-A

DETAIL TYPICAL FOR BOTH FRAME AND COVER



8" C.I. FRAME AND COVER



REV. 01/09

DETAIL NO.

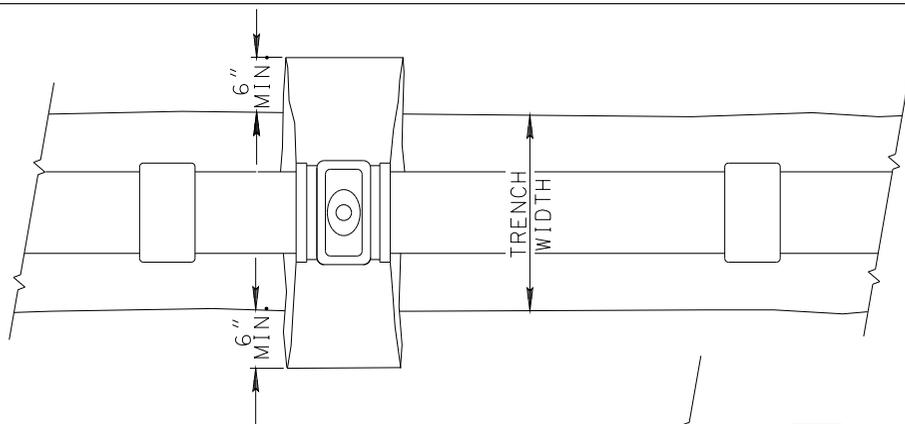
DETAIL NO.

270P

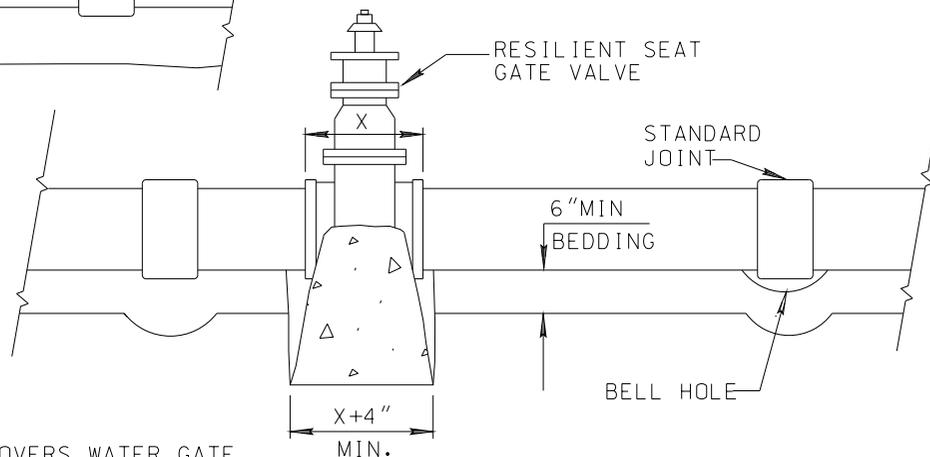
COP STANDARD DETAIL

SEWER CLEANOUT FRAME AND COVER ADJUSTMENT

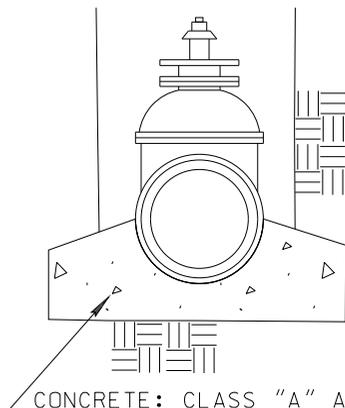
270P



NOTE:
WRAP ALL JOINTS & VALVE
WITH 8 MIL SHEET PLASTIC



NOTE:
THIS DETAIL COVERS WATER GATE
VALVES, 4" TO 16"
INCLUSIVE, REGARDLESS OF TYPE
OF PIPE USED. LARGER LINES TO
BE DETAILED ON PLANS.
UTILIZE VALVE BOX, COP 3-15P



CONCRETE: CLASS "A" AS PER MAG STD. SPECIFICATION 725 & 340.
FORM AS REQUIRED TO KEEP BOLTS AND JOINTS EXPOSED AND
CLEAR FROM CONCRETE.

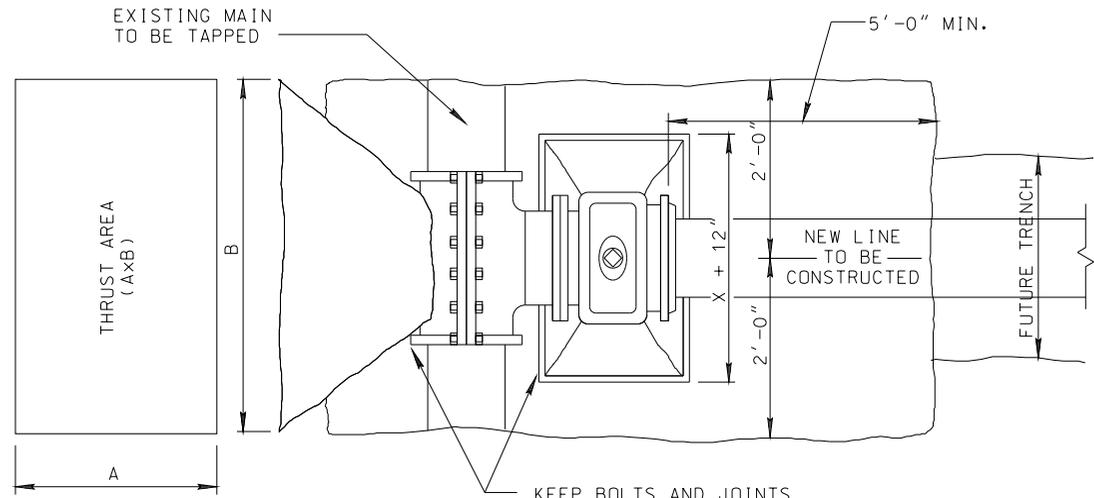
REV. 01/09

DETAIL NO.
3-03P

COP STANDARD DETAIL

BLOCKING FOR WATER GATE VALVES

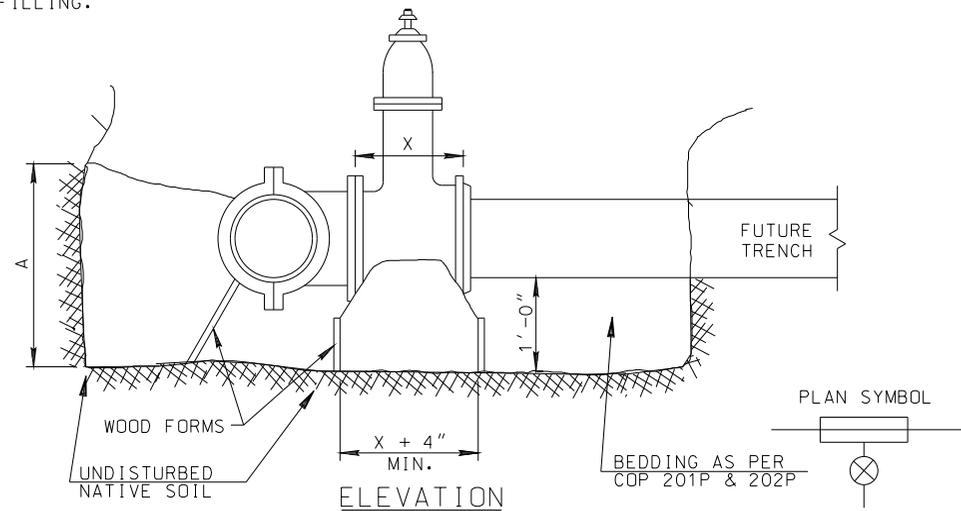
DETAIL NO.
3-03P



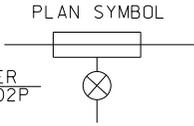
CONCRETE: CLASS "A" PER SECS. 340 & 725
 NORMALLY, CURE 24 HOURS BEFORE
 BACKFILLING.

KEEP BOLTS AND JOINTS
 FREE OF CONCRETE

PLAN



ELEVATION



NOTES:

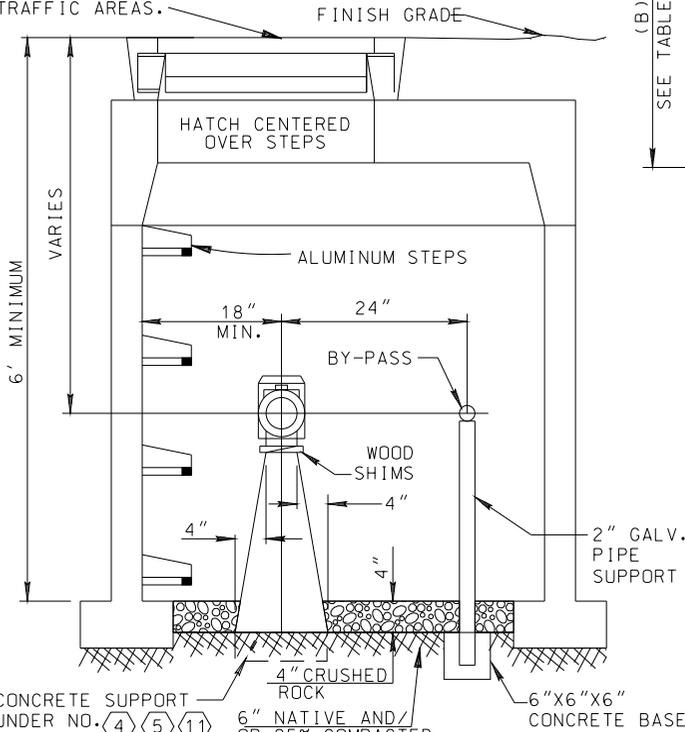
1. BLOCKING IS TO EXTEND TO UNDISTURBED GROUND.
2. ALL TAPS SHALL BE MADE BY AGENCY CREWS AT PREVAILING RATES.
3. INSTALL TEMPORARY BLOCKING UNDER VALVE BEFORE TAP IS MADE. ALL FLANGE BOLTS SHALL BE CLEAR OF FOOTING.
4. TAPPING SLEEVES ARE TO BE STAINLESS STEEL, CLASS 200 PSI.
5. INSTALLATION SHALL BE LEAK TESTED PRIOR TO TAP
6. TAPPING SLEEVE SHALL BE PLACED AT A MINIMUM OF 18" FROM ANY BELL, COUPLING, VALVE, FITTING, OR OTHER OBSTRUCTION
7. PROTECT ALL CONCRETE CONTACT AREAS WITH 8 MIL SHEET PLASTIC
8. THRUST BLOCKING PER M.A.G. DET. 380 & SECTION 610.
9. INSTALL VALVE RISER & FRAME & COVER PER COP 3-15P.

SIZE OF PIPE BEING CONNECTED	MINIMUM THRUST AREA REQUIRED EQUALS (AxB) (SQUARE FEET)
4" AND LESS	3
6"	4
8"	6
10"	9
12"	13
16"	23

NOTES:

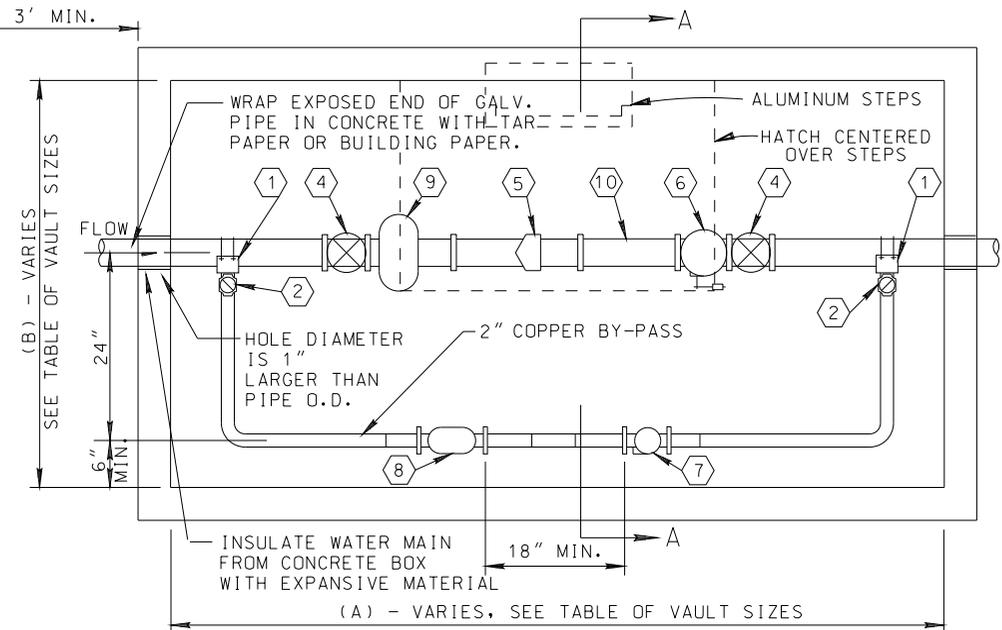
- BOTH METERS SHALL BE RADIO READ WITH ERT MOUNTED WITHIN 6" OF FINISH GRADE.
- METER VAULTS MAY BE EITHER BLOCK MASONRY OR CAST-IN-PLACE OR PRE-CAST CONCRETE. SEE COP 321 DETAILS FOR VAULT CONSTRUCTION.
- PLACE STEPS PER COP 4-03P OFFSET TO ONE SIDE FOR STEPS/LADDER

ALUMINUM PLATE ACCESS HATCH MINIMUM 4'x4' OPENING HINGED WITH LOCK. BILCO OR EQUAL TRAFFIC RATED COVER IN TRAFFIC AREAS.



SECTION A-A

TYPICAL BOTH SIDES



- ① DOUBLE STRAP ALL BRONZE SADDLE
- ② CORP STOP 2" BALL TYPE
- ③ FLEXIBLE COUPLING
- ④ GATE VALVE R/S FLANGED WITH HAND WHEEL
- ⑤ AMCO OR BADGER RADIO READ
- ⑥ FLANGED CHECK VALVE WITH EXTERNAL LEVER & WEIGHT
- ⑦ 2" BRONZE CHECK VALVE
- ⑧ 2" BYPASS METER AMCO OR BADGER TURBOMETER
- ⑨ STRAINER REQUIRED ONLY WHEN TURBINE METER USED
- ⑩ FLANGED SPOOL (MIN. 3 PIPE DIAMETERS IN LENGTH)
- ⑪ 2" THREADED
- ⑫ METERS TO BE SUPPLIED BY AGENCY

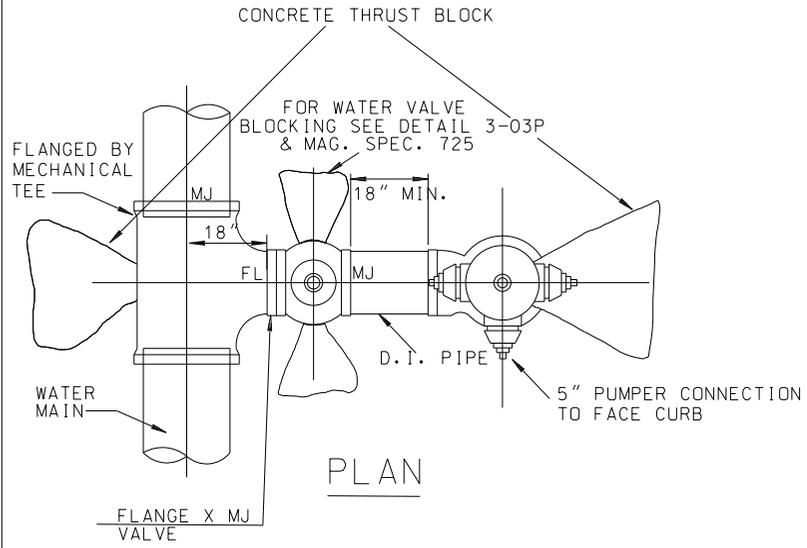
VAULT DIMENSION DETAILS			
METER SIZE	3"	4"	6"
(A)	8' 4"	10' -6"	12'
(B)	4' -4"	5'	5'

DETAIL NO.
3-06P

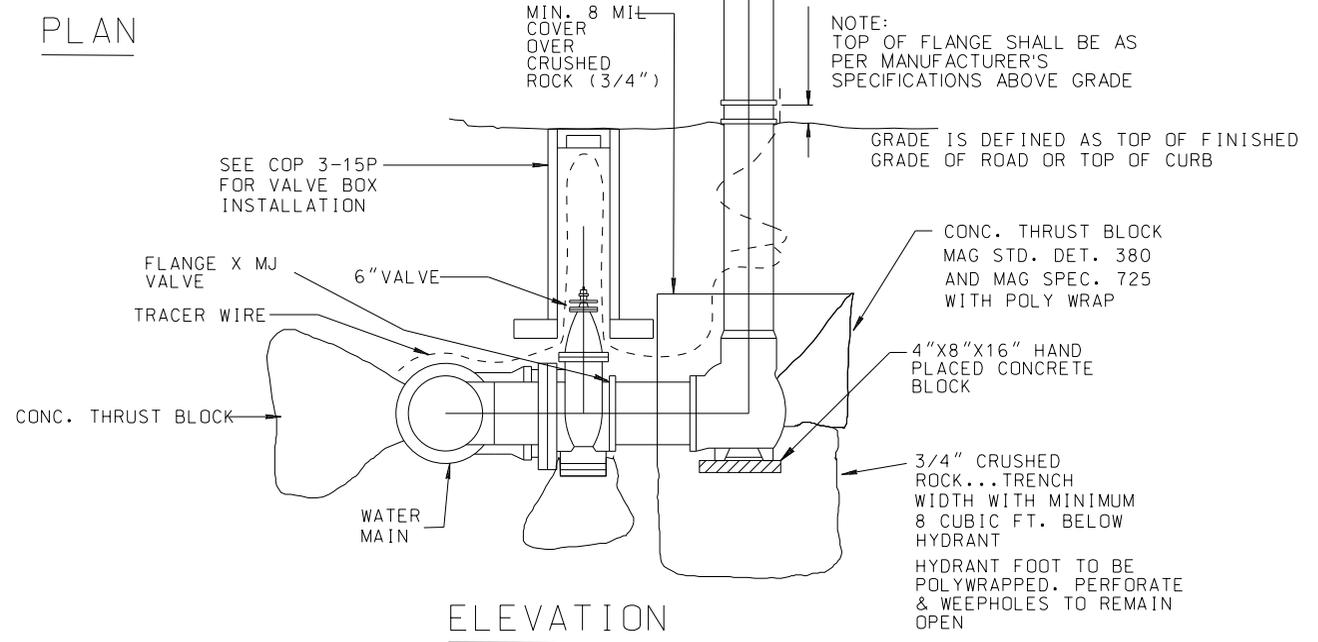
COP STANDARD DETAIL

VAULT FOR 3", 4" & 6" WATER METERS

REV. 01/09
DETAIL NO.
3-06P



PLAN



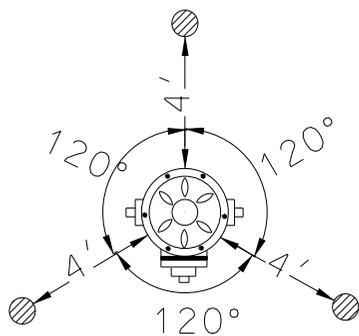
ELEVATION

NOTES:

1. ALL HYDRANTS WHICH ARE PRIVATELY MAINTAINED AND OWNED ARE TO BE PAINTED RED.
2. ALL HYDRANTS TO BE WATEROUS, MUELLER, CLOW, OR APPROVED EQUAL.
3. HYDRANTS SHALL BE STRAIGHT RUNS FROM MAIN LINE.
4. TRACER WIRE SHALL BE USED AS PER COP STD. DTL. 3-19P. LOOP AT GROUND LEVEL AROUND HYDRANT.

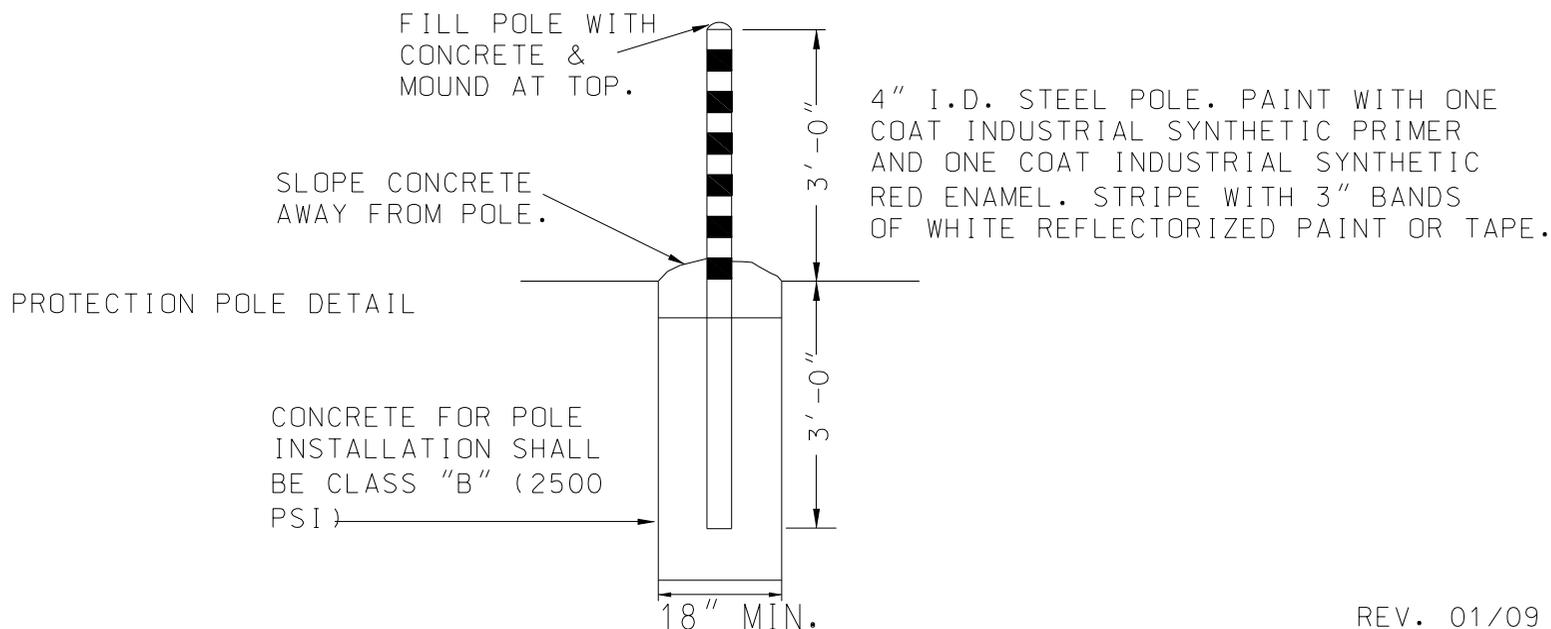
DETAIL NO. 3-07P	COP STANDARD DETAIL	FIRE HYDRANT INSTALLATION	REVISED 03/09
			DETAIL NO. 3-07P

PROTECTION POLE PLACEMENT



NOTES:

1. DO NOT PLACE POLES IN FRONT OF NOZZLE.
2. POLES MAY BE CHANGED IN NUMBER AND ARRANGEMENT DEPENDING ON INDIVIDUAL NEED.
3. REQUIRED AT SPECIFIED LOCATIONS ONLY.



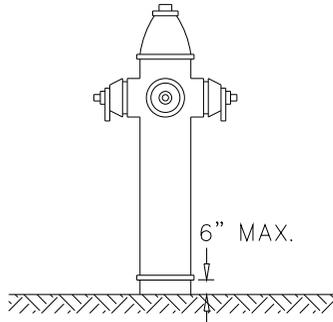
REV. 01/09

DETAIL NO.
3-09P

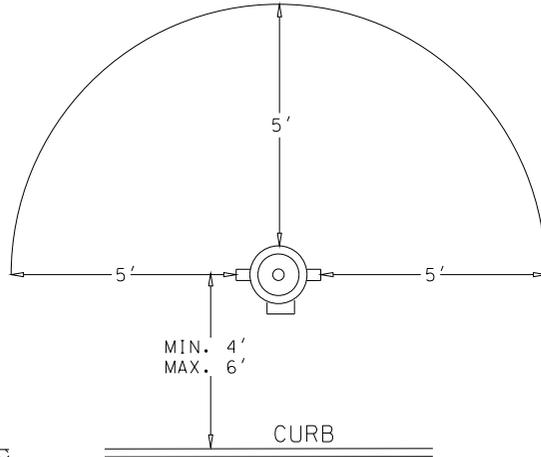
COP STANDARD DETAIL

FIRE HYDRANT PROTECTION POLE

DETAIL NO.
3-09P



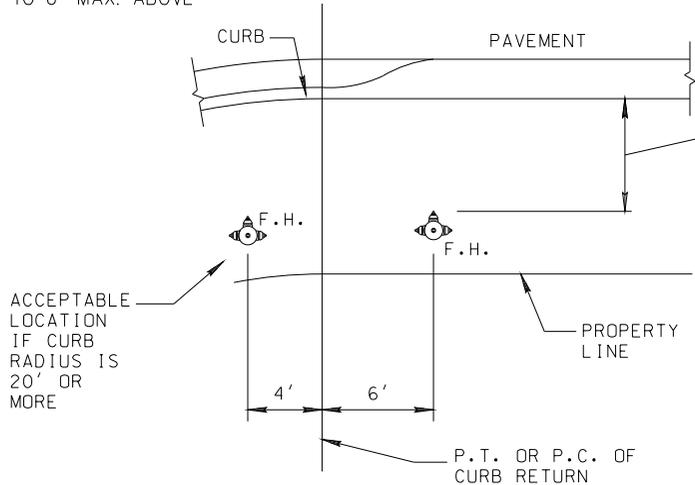
HEIGHT REQUIREMENTS
 NOTE: BOTTOM OF FLANGE MAY BE FROM 0" TO 6" MAX. ABOVE GRADE



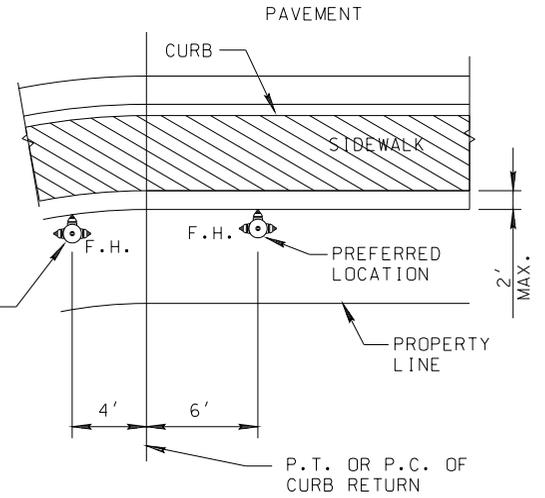
HYDRANT OBSTRUCTION CLEARANCE

NOTES:

1. OBSTRUCTIONS SUCH AS UTILITY POLES, STREET SIGNS, IRRIGATION BOXES, FENCES, LANDSCAPE VEGETATION, ETC. MUST NOT BE PLACED BETWEEN CURB AND HYDRANT
2. SOME LOCATIONS APPLY AT EITHER END OF CURB RETURNS.
3. ALL HYDRANTS WHICH ARE PRIVATELY MAINTAINED AND OWNED ARE TO BE PAINTED RED.
4. IN PARKING LOT ISLANDS, HYDRANT TO BE MIN. 3' IN ALL DIRECTIONS FROM BACK OF CURB.
5. HYDRANTS TO BE CLEAR OF LANDSCAPE & VEGETATION WITHIN A 5' RADIUS.



PARKWAY AREA OR NO SIDEWALK



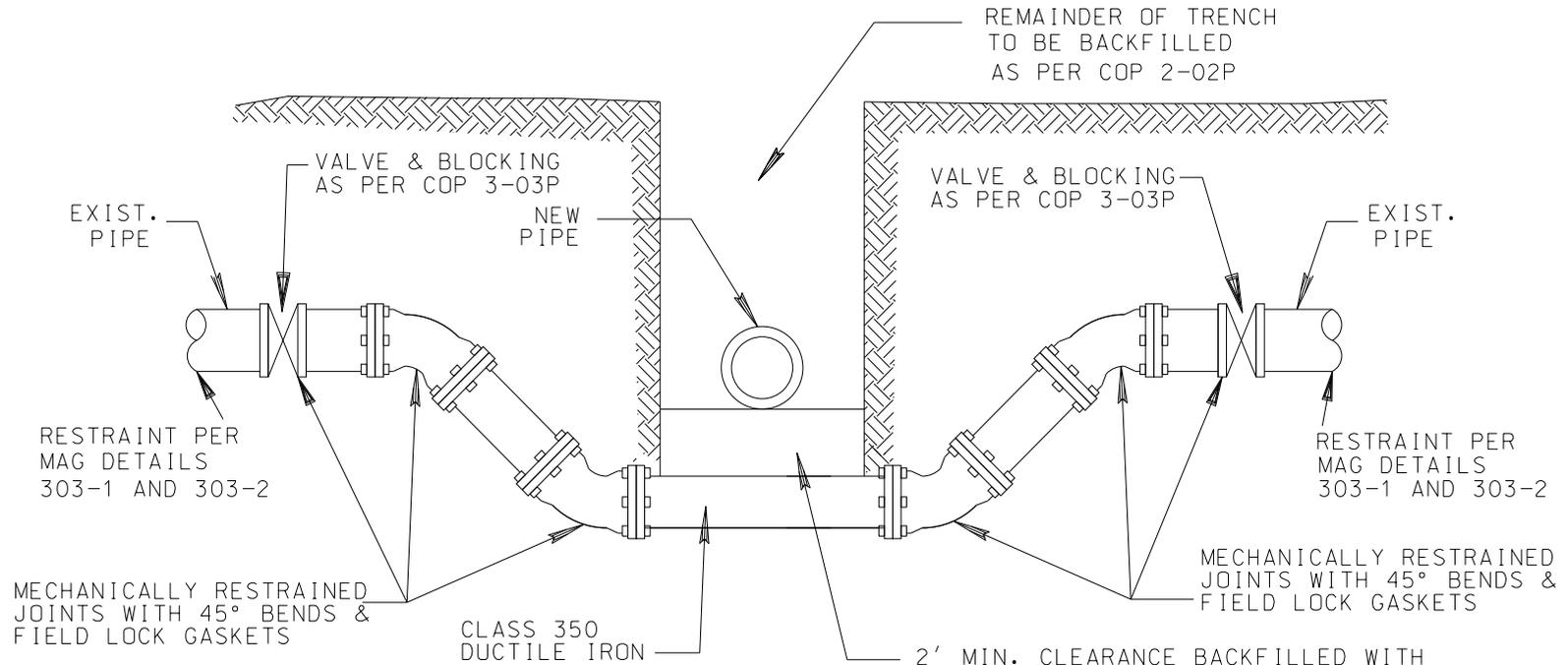
AREA WITH SIDEWALK

DETAIL NO.
3-10P

COP STANDARD DETAIL

LOCATIONS FOR NEW FIRE HYDRANTS

REV. 01/09
 DETAIL NO.
3-10P

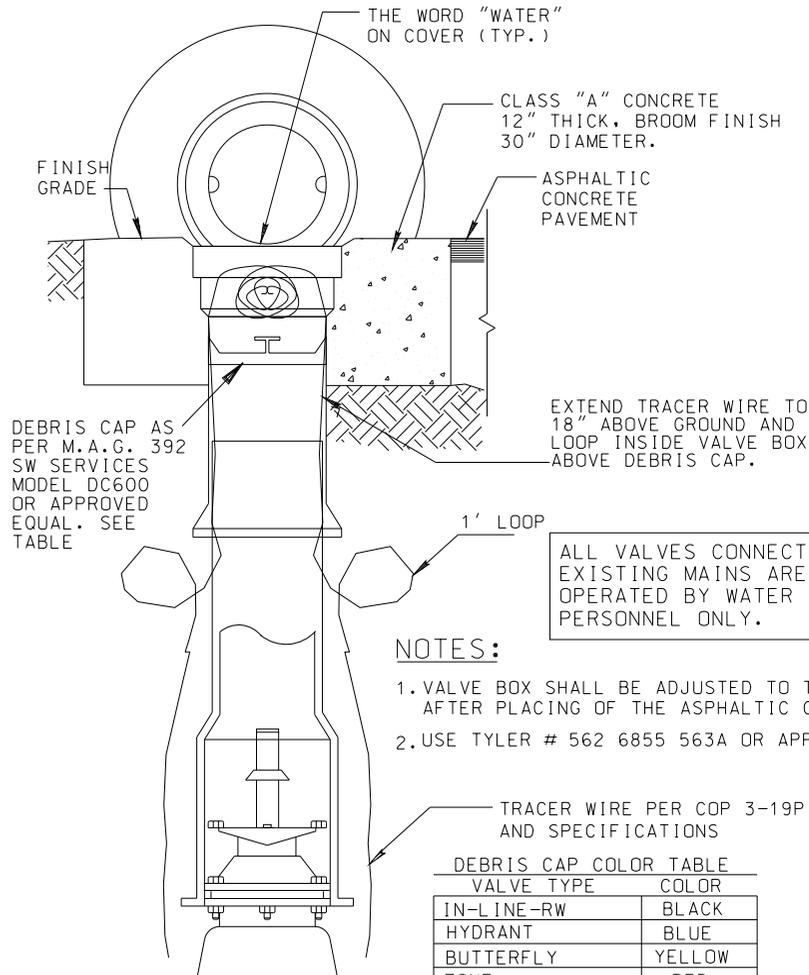


1. NO SERVICE CONNECTIONS SHALL BE LOCATED WITHIN VERTICAL REALIGNMENT
2. AIR RELEASE VALVE TO BE INSTALLED ON THE VERTICAL REALIGNMENT AT THE HIGH POINT OF THE LOW SIDE.
3. TRACER WIRE SHALL BE INSTALLED AS PER COP 3-19P

BOTTOM OF VERTICAL ALIGNMENT SHALL BE ONE PIECE. IF JOINTS ARE REQUIRED, WATER MAIN SEGMENT SHALL BE CENTERED BELOW PIPE OR IN A BORE SLEEVE PER M.A.G. 602. ALL JOINTS SHALL BE FIELD LOCK GASKET & WATER MAIN SHALL BE EQUIPPED WITH STAINLESS STEEL SPACERS & END CAPS.

REV. 01/09

DETAIL NO. 3-11P	COP STANDARD DETAIL	VERTICAL REALIGNMENT OF WATER MAINS	DETAIL NO. 3-11P
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DEBRIS CAP AS PER M.A.G. 392 SW SERVICES MODEL DC600 OR APPROVED EQUAL. SEE TABLE

EXTEND TRACER WIRE TO 18" ABOVE GROUND AND LOOP INSIDE VALVE BOX ABOVE DEBRIS CAP.

ALL VALVES CONNECTED TO EXISTING MAINS ARE TO BE OPERATED BY WATER AGENCY PERSONNEL ONLY.

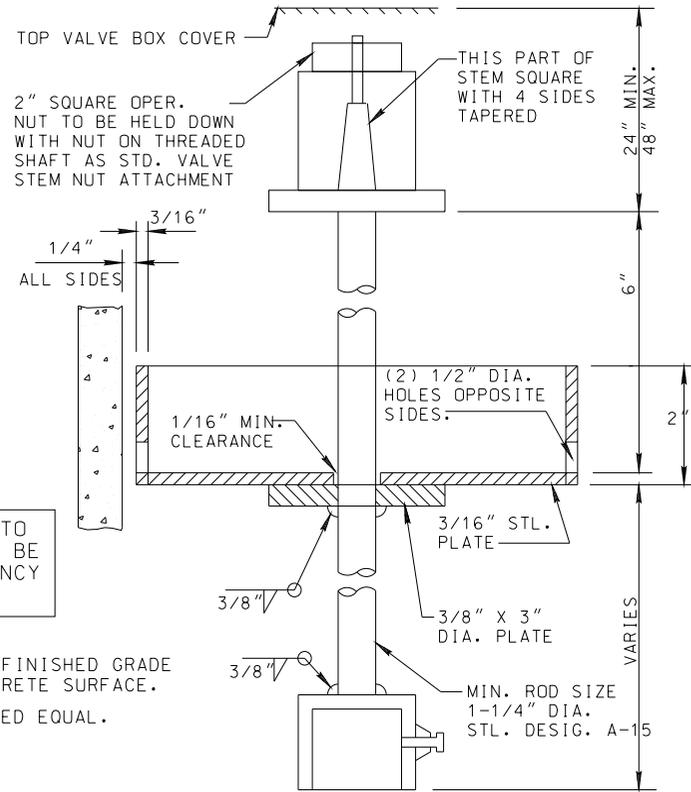
NOTES:

1. VALVE BOX SHALL BE ADJUSTED TO THE FINISHED GRADE AFTER PLACING OF THE ASPHALTIC CONCRETE SURFACE.
2. USE TYLER # 562 6855 563A OR APPROVED EQUAL.

TRACER WIRE PER COP 3-19P AND SPECIFICATIONS

DEBRIS CAP COLOR TABLE	
VALVE TYPE	COLOR
IN-LINE-RW	BLACK
HYDRANT	BLUE
BUTTERFLY	YELLOW
ZONE	RED
FIRE LINE	WHITE
EFFLUENT	PURPLE
SEWER FORCE MAIN	GREEN

FOR DEEP VALVE SETTING



NOTES:

1. EXTENSION OF STEM SHALL BE A MAXIMUM OF 4FT. BELOW GRADE.
2. US MANUFACTURED IRON ONLY.

PAINTING:

ALL STEEL TO HAVE SHOP PRIME COAT ZINC CROMATE, AND ONE HEAVY APPLICATION OF NO-OX-10 "A" IN ACCORDANCE WITH MAUFACTURER'S DIRECTION.

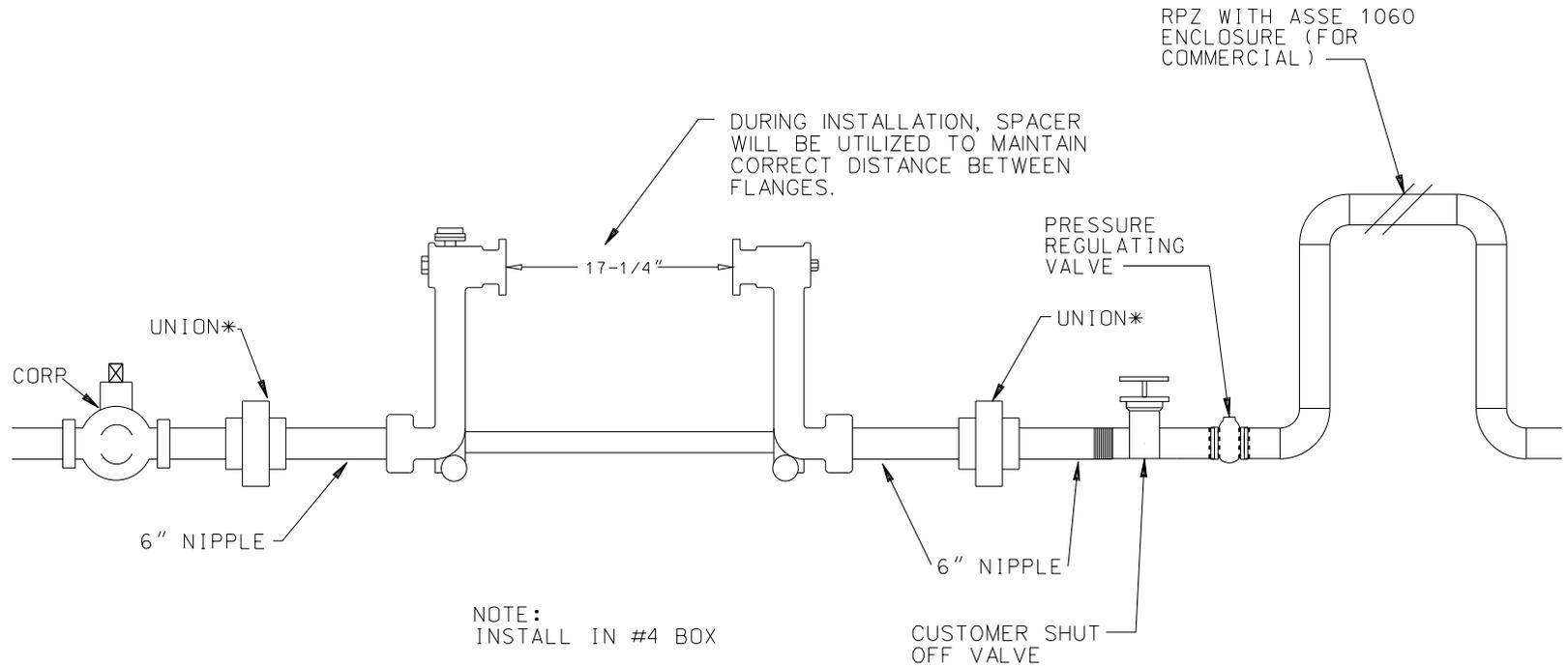
REV. 01/09

DETAIL NO.
3-15P

COP STANDARD DETAIL

VALVE BOX

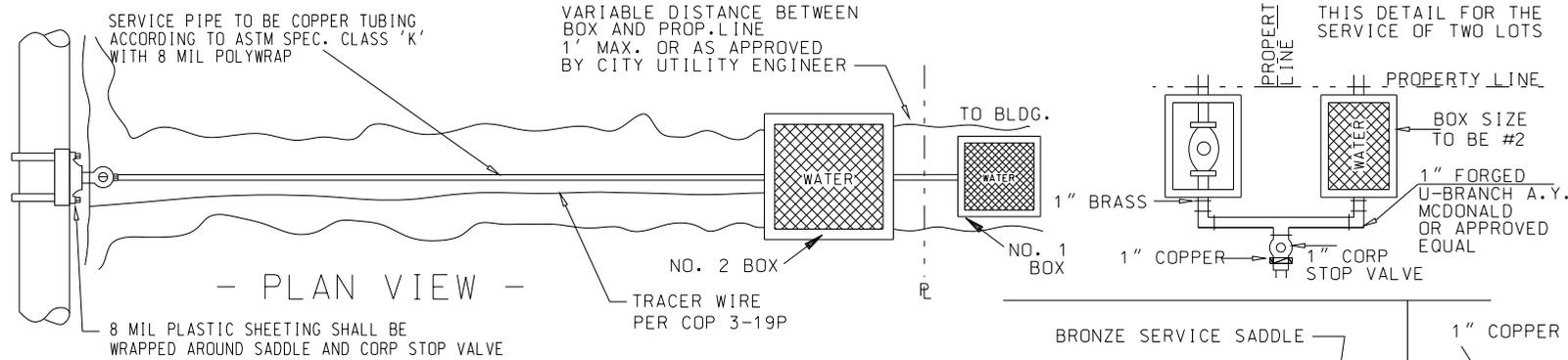
DETAIL NO.
3-15P



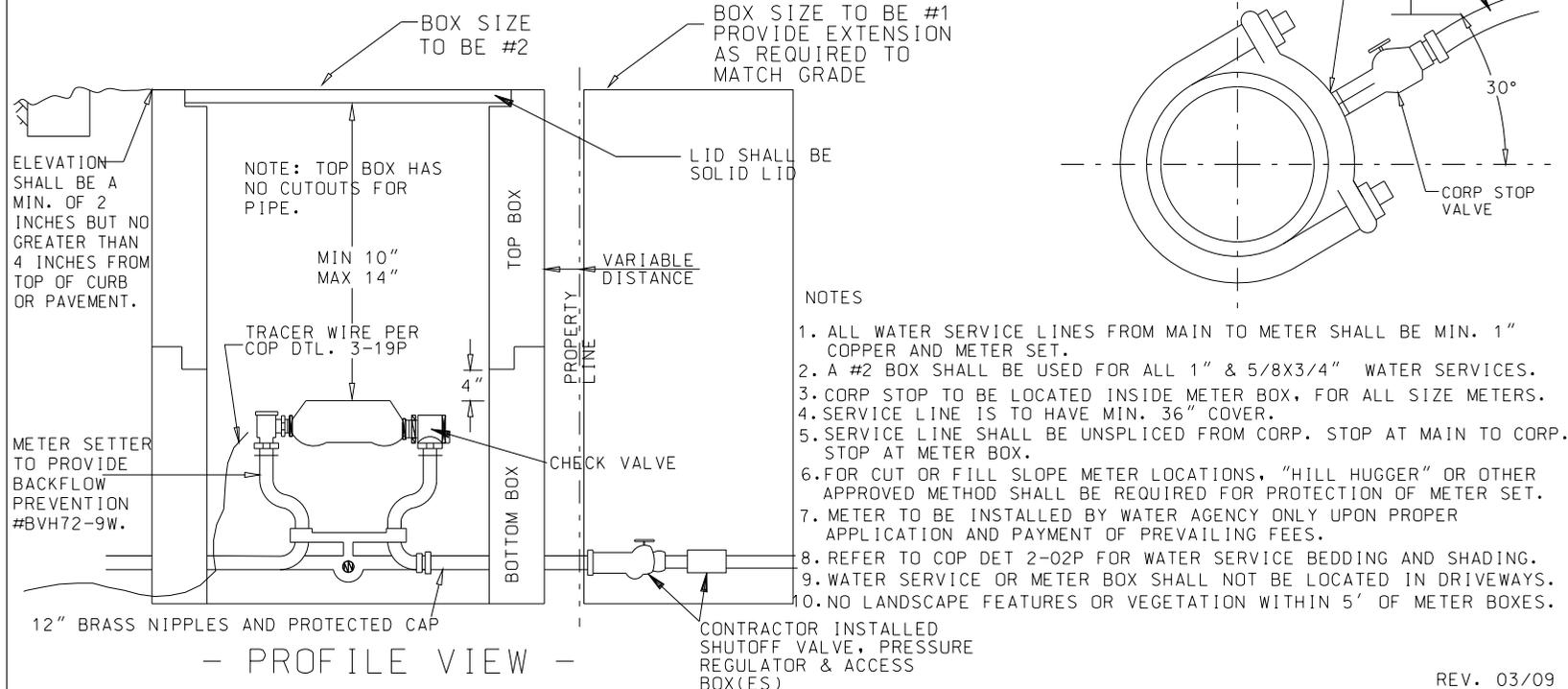
* TO AVOID LEAKS USE TEFLON PASTE ON THREADS ONLY
NFF61 APPROVED

revised 03/09

DETAIL NO. 3-16AP	COP STANDARD DETAIL	2" WATER METER SET	DETAIL NO. 3-16AP
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- PLAN VIEW -



- PROFILE VIEW -

DETAIL NO. 3-16P	COP STANDARD DETAIL	WATER SERVICE CONNECTIONS	REV. 03/09 DETAIL NO. 3-16P
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NOTE: COPPER TO BE INSTALLED A MINIMUM 18" BELOW & SLOPED UPHILL FROM THE CORP. STOP TO THE AIR RELEASE VALVE.

INSTALL GALVANIZED RISER AS SHOWN SIZED TO MATCH VALVE

NO. 16 NONCORROSIVE PRE-ASSEMBLED METAL SCREEN WITH CLAMP AS APPROVED BY CITY OF PRESCOTT

COUPLING ABOVE & BELOW WITH CLOSE NIPPLE BETWEEN

12" MIN.
18" MAX.

NO. 2 CONVENTIONAL BOX; EXTENSION, BOTTOM, & LID

DRILL HOLE THROUGH COVER AND INSTALL GALVANIZED UNION

INSTALL 36" OF FLEXIBLE HOSE (MG-U WESTCOAST ENVIRONMENTAL OR APPROVED EQUAL) FROM ARV TO NIPPLE IN COVER

AIR RELEASE VALVE

HOSE CLAMP

BRASS NIPPLE

BALL VALVE W/HANDLE

BRASS NIPPLE

TRAVELLED AREA

COPPER TUBING

TYPE 'K' WITH POLYWRAP & TRACE WIRE

3/4" DRAINAGE ROCK
12" MINIMUM UNDER ENTIRE BOX

BALL CORP.

BRONZE SADDLE

WATER MAIN FIELD LOCATE AT HIGH POINT OF WATER MAIN

LINE SIZE VARIES 3/4" TO 2" FOR AIR RELEASE VALVE.

NOTE: VACUUM RELEASE SHALL BE ACHIEVED BY MANUAL OPENING OF HYDRANTS BY CITY WATER STAFF ONLY.

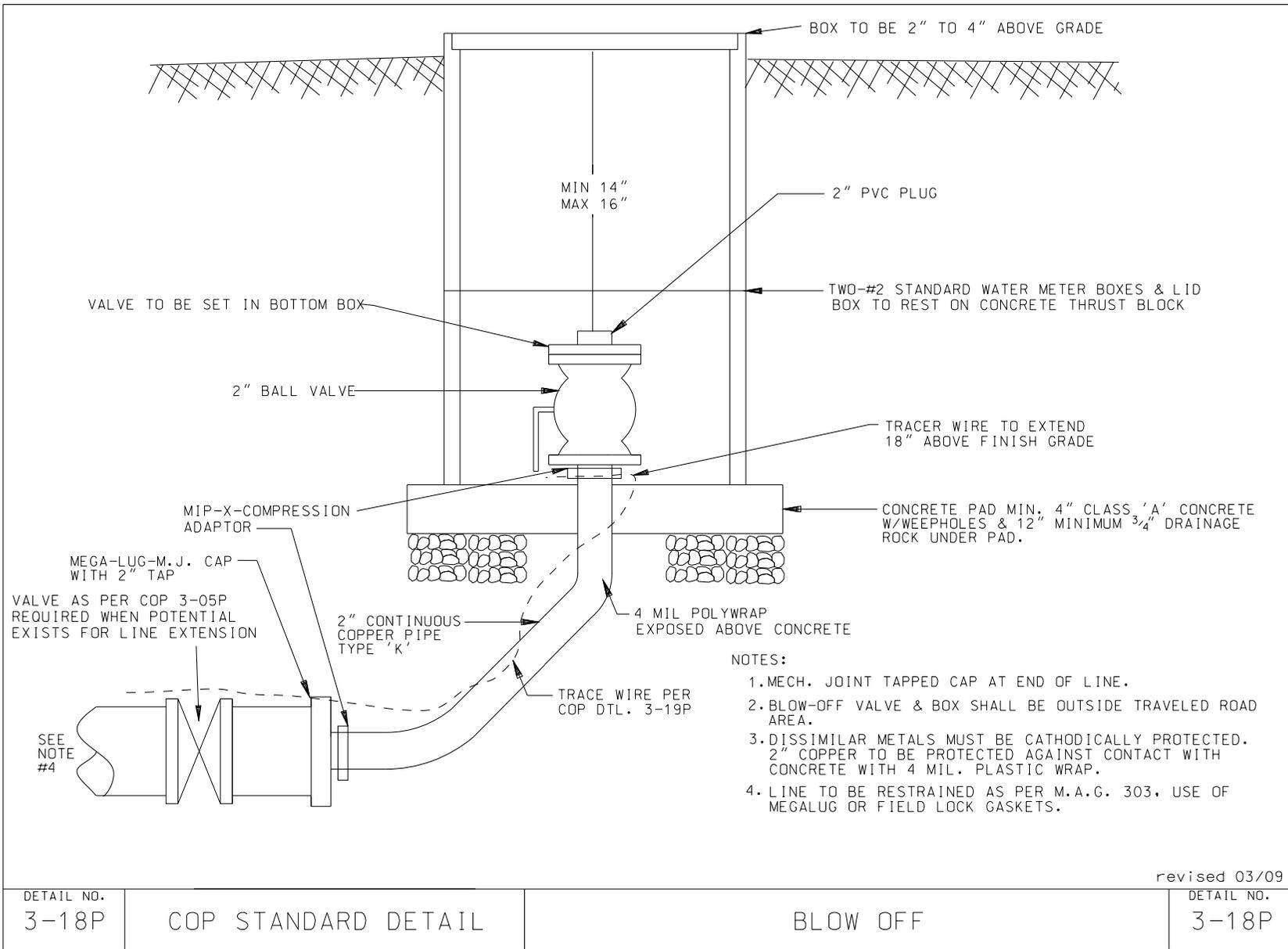
REVISED 03/09

DETAIL NO.
3-17P

COP STANDARD DETAIL

AIR RELEASE VALVE

DETAIL NO.
3-17P



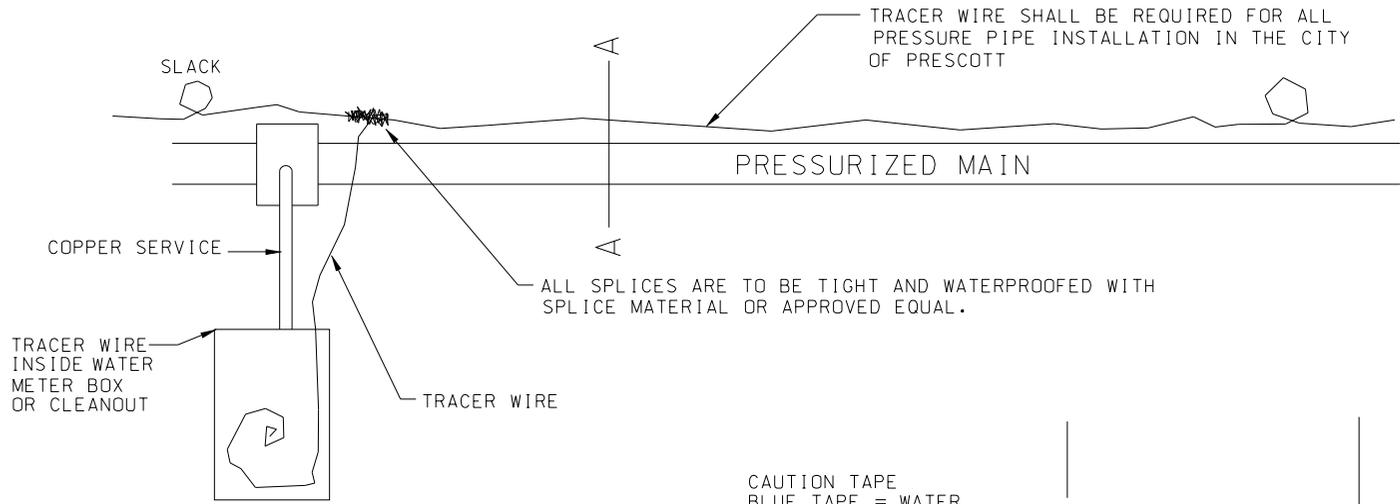
revised 03/09

DETAIL NO.
3-18P

COP STANDARD DETAIL

BLOW OFF

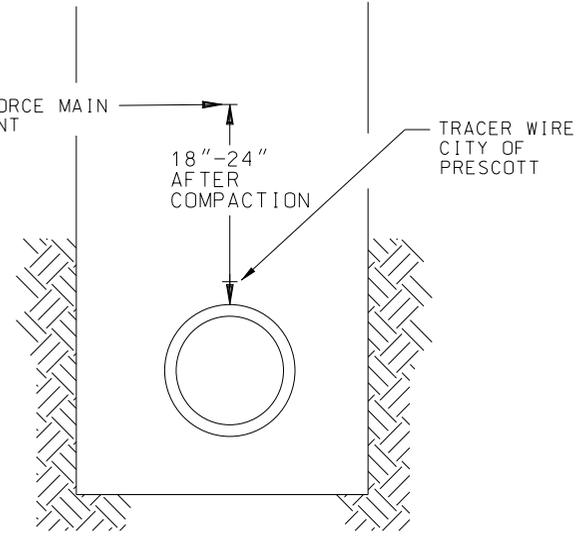
DETAIL NO.
3-18P



NOTES:

1. TRACER WIRE TO BE 14 G DIRECT BURY AWG OR LARGER SOLID COPPER INSULATED WIRE. (BARE COPPER WIRE PROHIBITED)
2. WIRE IS TO BE INSTALLED WITH SLACK, ONE FOOT COIL PER LENGTH.
3. TESTING FOR ACCEPTANCE OF TRACER WIRE WILL BE MADE AT PROJECT COMPLETION.
4. WIRE IS TO BE ATTACHED TO ALL WATER APPURTENANCES.
5. TRACER WIRE IS TO BE PLACED ABOVE PIPE AS INDICATED AND SECURED BY TAPE AS NEEDED.
6. THIS DETAIL DOES NOT PERTAIN TO STRAIGHT RUN GRAVITY SANITARY SEWER MAIN.

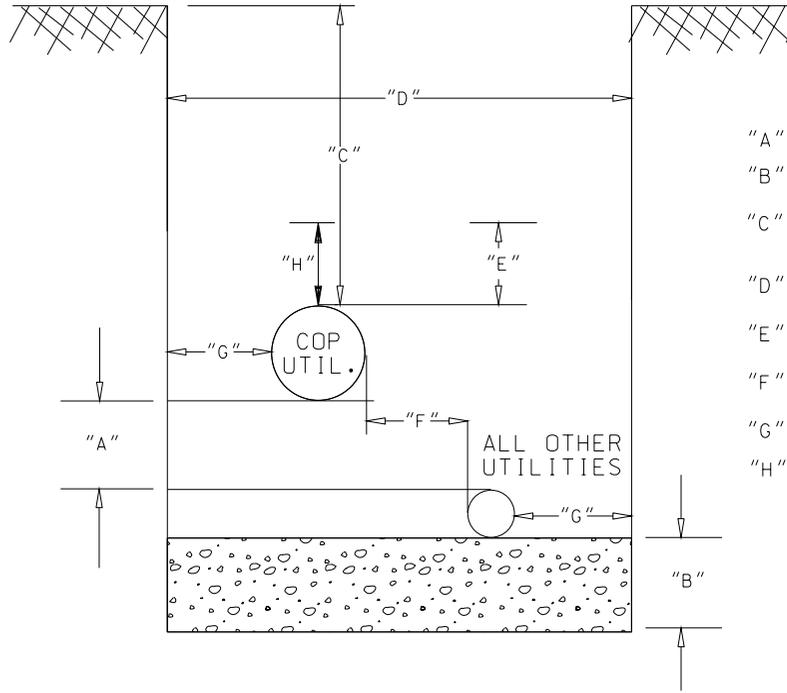
CAUTION TAPE
 BLUE TAPE = WATER
 GREEN TAPE = SEWER FORCE MAIN
 PURPLE TAPE = EFFLUENT



SECT. A-A

THIS DETAIL SHALL NOT BE ALTERED, AND SHALL BE STRICTLY ENFORCED

DETAIL NO. 3-19P	COP STANDARD DETAIL	TRACER WIRE FOR ALL PRESSURE PIPE SYSTEMS	REV. 01/09 DETAIL NO. 3-19P
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- "A" MINIMUM OF 24" VERTICAL CLEARANCE BETWEEN ALL UTILITIES.
- "B" 6" BEDDING WILL BE REQUIRED.
- "C" MINIMUM OF 36" COVER OVER ALL LINES UNDER 12" DIAMETER.
MINIMUM OF 48" COVER OVER ALL LINES OVER 12" DIAMETER.
- "D" MINIMUM OF 30" WIDE.
- "E" 12" SHADING OVER TOP OF PIPE. SELECT MATERIAL (A.B.C. COMPACTED 95% OR SAND).
- "F" MINIMUM OF 48" HORIZONTAL CLEARANCE - ALL UTILITIES.
- "G" MINIMUM 12" OF SIDE WALL CLEARANCE.
- "H" 18"-24" AFTER COMPACTION FOR CAUTION TAPE ABOVE PIPELINE

NOTES:

WATER LINE SHALL BE NO DEEPER THAN 6' TO THE TOP OF THE PIPE, UNLESS SPECIFICALLY NOTED AND APPROVED BY THE CITY UTILITIES ENGINEER.

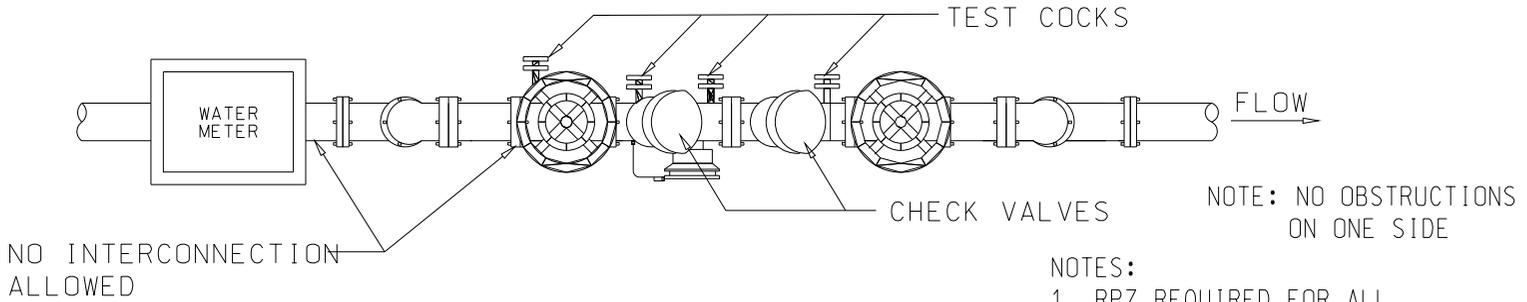
ARTERIAL ROADWAYS WILL REQUIRE 48" MINIMUM COVER OVER ALL LINES.

DETAIL NO.
3-20P

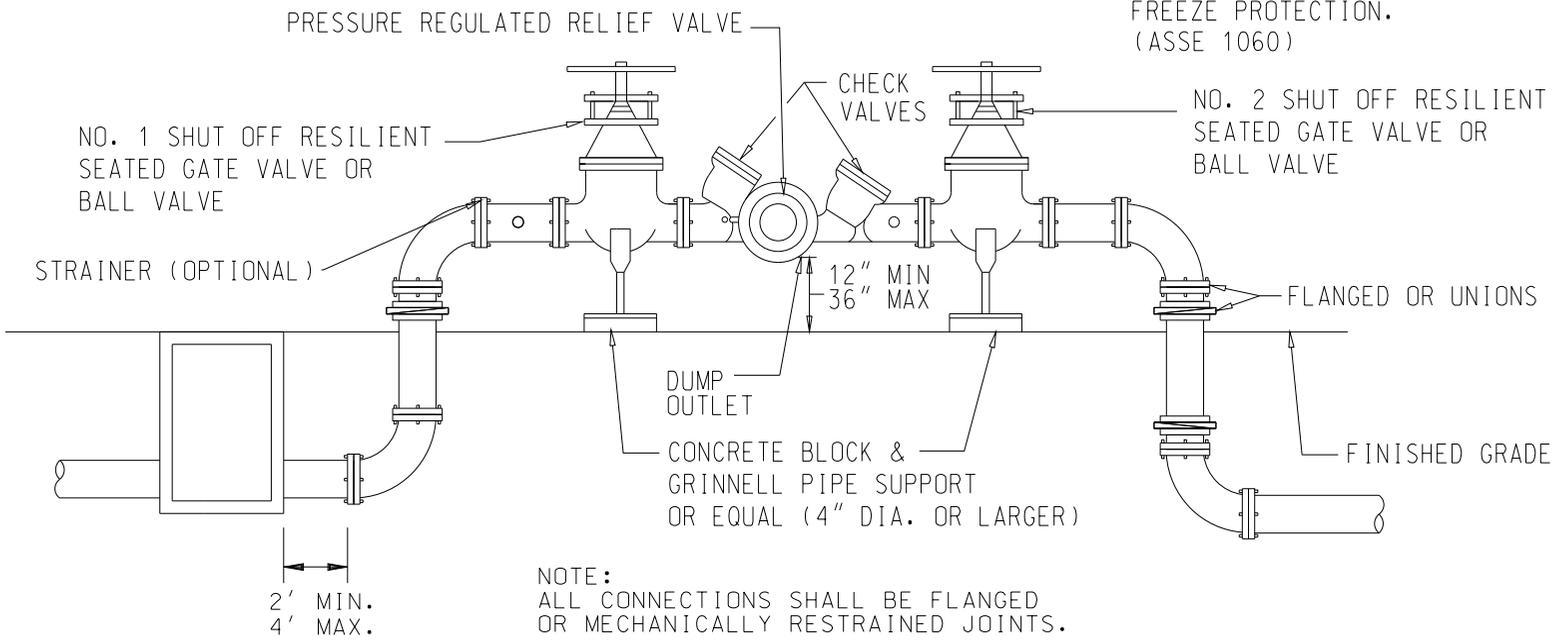
COP STANDARD DETAIL

CITY UTILITY CLEARANCES
MULTIPLE UTILITY TRENCH

REV. 01/09
DETAIL NO.
3-20P



- NOTES:
1. RPZ REQUIRED FOR ALL COMMERCIAL APPLICATIONS.
 2. HOT BOX OR APPROVED FREEZE PROTECTION. (ASSE 1060)

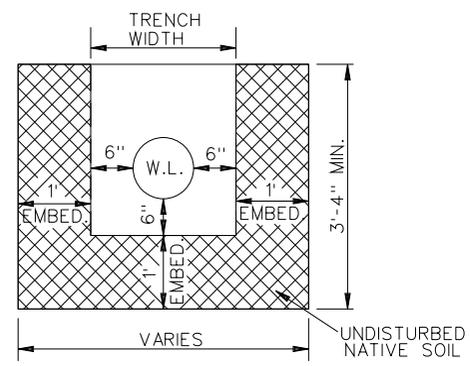
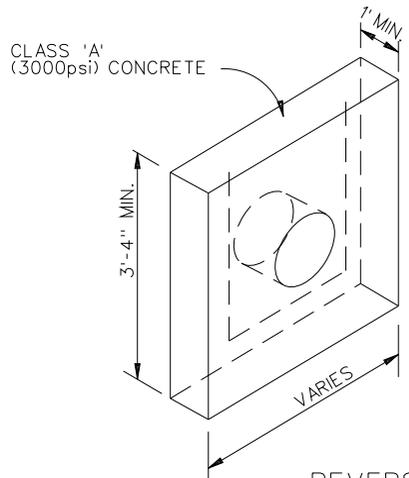


DETAIL NO. 3-21AP	COP STANDARD DETAIL	REDUCED PRESSURE ZONE ASSEMBLY INSTALLATION	REV. 01/09 DETAIL NO. 3-21AP
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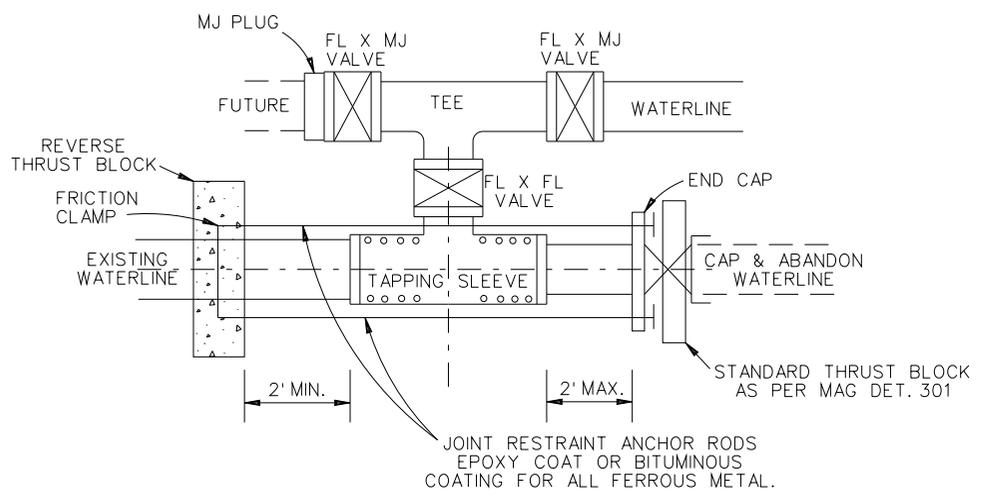
1. A CORRECT REDUCED PRESSURE ZONE ASSEMBLY (RPZA) INSTALLATION IS SHOWN ABOVE. THERE MUST NOT BE ANY CONNECTIONS ON THE SERVICE LINE BETWEEN THE (RPZA) AND THE WATER METER. PROTECTIVE CAGES ARE OPTIONAL, AND WHEN INSTALLED MUST MEET CLEARANCE REQUIREMENTS IN ADDITION TO PROVIDING SIDE AND TOP ACCESS. CAGES MUST NOT RETAIN WATER.
2. THE ASSEMBLY MUST BE ACCESSIBLE AT ALL TIMES. THE (RPZA) MUST BE INSTALLED ABOVE GROUND. AND AS CLOSE TO THE WATER METER AS POSSIBLE. THE ASSEMBLY MUST BE PROTECTED FROM FREEZING.
3. DISTANCE FROM THE BOTTOM OF PRESSURE RELIEF VALVE TO THE FINISHED GRADE SHALL BE A MINIMUM OF THE TWICE THE DIAMETER OF THE ASSEMBLY PIPING. MINIMUM HEIGHT 12".
4. INSTALLATION MUST MEET UNIFORM PLUMBING CODES IN ADDITION TO STANDARD WATER DETAILS. INSTALLATION MUST BE LEFT EXPOSED UNTIL INSPECTED AND APPROVED BY CITY OF PRESCOTT. IN CASES WHERE WATER SUPPLY MAY NOT BE INTERRUPTED DURING NORMAL WORKING HOURS, TWO ASSEMBLIES INSTALLED IN PARALLEL WILL BE REQUIRED. THE ASSEMBLY MUST BE APPROVED BY THE CITY OF PRESCOTT PUBLIC WORKS DEPARTMENT. FOR AN UPDATED LIST OF APPROVED ASSEMBLIES CONTACT THE CITY OF PRESCOTT UTILITIES DEPARTMENT. THREE SETS OF PLANS SHALL BE SUBMITTED TO THE CITY OF PRESCOTT PUBLIC WORKS DEPARTMENT FOR APPROVAL BY SIGNATURE PRIOR TO INSTALLATION. ADDITIONAL QUESTIONS MAY BE ADDRESSED TO THE CITY OF PRESCOTT PUBLIC WORKS DEPARTMENT.
5. RPZA SHALL BE LOCATED ABOVE GROUND AND ENCLOSED IN AN ASSE 1060 APPROVED ENCLOSURE PER INTERNATIONAL BUILDING CODES
6. RPZA SHALL BE LOCATED WITHIN 2' OF METER.

REV. 01/09

DETAIL NO. 3-21BP	COP STANDARD DETAIL	REDUCED PRESSURE ZONE ASSEMBLY INSTALLATION NOTES	DETAIL NO. 3-21BP
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REVERSE THRUST BLOCK DETAIL
NOT TO SCALE



REV. 01/09

DETAIL NO. 380A-P	COP STANDARD DETAIL	REVERSE THRUST BLOCK	DETAIL NO. 380A-P
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1. ALL WORK SHALL CONFORM TO MARICOPA ASSOCIATION OF GOVERNMENTS (MAG), YAVAPAI ASSOCIATION OF GOVERNMENTS (YAG) & CITY OF PRESCOTT (COP) MODIFIED YAG CONSTRUCTION STANDARDS & SPECIFICATIONS, WHICH ARE ON FILE IN THE OFFICE OF THE CITY ENGINEER.
2. ALL FRAMES, COVERS, VALVE BOXES, & MANHOLES SHALL BE ADJUSTED TO FINISH GRADE UPON COMPLETION OF PAVING, UTILITY, OR RELATED CONSTRUCTION.
3. ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY THE PUBLIC WORKS UTILITIES DIRECTOR.
4. ACCEPTANCE OF THE COMPLETED WORK WILL NOT BE GIVEN UNTIL 3 MIL MYLAR & CAD FORMAT DIGITAL 'AS-BUILT' PLANS ON CITY OF PRESCOTT SURVEY DATUM & COORDINATES HAVE BEEN SUBMITTED BY A REGISTERED PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DEPARTMENT.
5. CITY OF PRESCOTT PUBLIC WORKS UTILITIES SHALL BE NOTIFIED 24 HOURS PRIOR TO THE START OF ANY WORK.
6. ALL WORK & MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE AGENCY INSPECTOR OR HIS REPRESENTATIVE IS SUBJECT TO REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEN & EQUIPMENT ON THE JOB AT ALL TIMES DURING CONSTRUCTION TO COMPLY WITH SPECIFICATIONS & TO COMPLETE THE WORK.
9. INSPECTION TO BE DONE BY THE CITY OF PRESCOTT PUBLIC WORKS UTILITIES DEPARTMENT OR THEIR REPRESENTATIVE.
10. CONTRACTOR TO NOTIFY PROJECT ENGINEER 72 HOURS (3 WORKING DAYS) IN ADVANCE OF CONSTRUCTION TO SCHEDULE CONSTRUCTION STAKING.
11. THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO AND VERIFY GRADES & ELEVATIONS BEFORE ANY OTHER CONSTRUCTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND PIPELINES, TELEPHONE & ELECTRICAL CONDUITS & STRUCTURES IN ADVANCE OF ANY CONSTRUCTION & OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH. THE ENGINEER &/OR OWNER WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS, OR THOSE OMITTED FROM SAME.
13. CONTRACTOR SHALL NOTIFY 'BLUE STAKE' AT 1-800-STAKEIT (1-800-782-5348) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN & MAKE HIS BID BASED UPON THOSE VERIFICATIONS. IF ANY DISCREPANCY IN QUANTITIES IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SUCH.
15. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS SHALL BE COMPLIED WITH.
16. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS SHALL APPLY WHEN MORE STRINGENT THAN THE MAG OR YAG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
17. ALL PLANS SIGNED BY THE CITY UTILITY ENGINEER ARE NULL & VOID ONE YEAR FROM DATE OF SIGNATURE IF CONSTRUCTION HAS NOT STARTED.
18. PROJECT ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING TRAFFIC CONTROL PLANS WHICH SHALL BE MADE A PART OF THE PLAN REVIEW REQUEST TO THE CITY ENGINEER FOR APPROVAL.
19. ALL WATER LINES & APPURTENANCES SHALL BE PROVIDED WITH 14 GAUGE AWG, INSULATED, SINGLE STRAND, DIRECT BURY, COPPER TRACE WIRE. TRACE WIRE SHALL BE SUBJECT TO A TRACEABILITY TEST, EASILY ACCESSIBLE, & ANY DEFICIENCIES SHALL BE CORRECTED.
20. WATER-SEWER SEPARATION SHALL BE PURSUANT TO AAC R-18-5-502C.
21. WATER MAINS SHALL BE SUBJECT TO A PRESSURE & LEAKAGE TEST IN ACCORDANCE WITH AWWA C-600 STANDARD.
22. WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH ADEQ ENGINEERING BULLETIN NO. 8 'DISINFECTION OF WATER SYSTEMS'.
23. OPERATION OF VALVES TO BE DONE BY CITY PERSONNEL ONLY.
24. DUCTILE IRON PIPE TO BE INSTALLED PER MANUFACTURER'S REQUIREMENTS. ALL MATERIALS USED IN THE INSTALLATION OF DUCTILE IRON PIPE SHALL BE PURSUANT TO AAC R-18-4-504.
25. ALL MATERIALS & PRODUCTS THAT COME INTO CONTACT WITH DRINKING WATER OR DRINKING WATER TREATMENT CHEMICALS MUST COMPLY WITH NSF STANDARD 61. ANY 'OR EQUAL' SUBSTITUTION SHALL ALSO MEET NSF STANDARD 61.
26. ALL TRENCHES & BEDDING SHALL BE PER MODIFIED COP DETAILS 2-01P & 2-02P & TECHNICAL SPECIFICATIONS.
27. ALL MATERIALS USED IN THE INSTALLATION OF WATER MAINS SHALL BE PURSUANT TO AAC R-18-4-119, & SHALL BE NSF APPROVED FOR POTABLE WATER.
28. ALL REVISIONS TO ORIGINAL PLANS MUST BE APPROVED BY THE PUBLIC WORKS UTILITIES DIRECTOR PRIOR TO CONSTRUCTION. ANY UNAPPROVED REVISIONS ARE SUBJECT TO REMOVAL & REPLACEMENT AT OWNER'S EXPENSE.
29. ALL DUCTILE IRON, COPPER, & BRASS FITTINGS SHALL BE ENCASED IN POLYETHYLENE PROTECTIVE WRAPPING IN ACCORDANCE WITH MAG SECTION 610.5. UNLESS COUNTERINDICATED BY GEOTECHNICAL REPORT.
30. WATER LINES SHALL BE INSTALLED WITH FIELD LOCK GASKETS & MEGA LUGS WHERE JOINT RESTRAINT IS REQUIRED.
31. WATER SERVICE INTERRUPTION NOTICES SHALL BE GIVEN TO AFFECTED RESIDENTS BY THE CONTRACTOR AT HIS EXPENSE USING A METHOD APPROVED BY THE PUBLIC WORKS UTILITIES DIRECTOR.

REV. 01/09

DETAIL NO.

DETAIL NO.

3-A-P

COP STANDARD DETAIL

WATER PLAN GENERAL NOTES

3-AP

BROKEN PIPE SHALL BE REPLACED WITH A MINIMUM OF ONE FULL D.I.P. JOINT. EPOXY COATED WITH PROTECTO COAT 401

NEW CONSTRUCTION

COUPLING (TYP)

FLOW

EXISTING SEWER CONNECTION OR MAIN BROKEN DURING EXCAVATION FOR NEW CONSTRUCTION

20' MIN

COMPACTION SHALL BE DONE IN ACCORDANCE WITH COP STANDARD DETAIL 2-02P

MAINTAIN EXISTING FLOW LINE

SAW PIPE SQUARE

2'

2'

2'

EXCAVATE 6" BEYOND EXISTING PIPE TO ALLOW ROOM FOR INSPECTION

MIN 6" BEDDING (TYP)

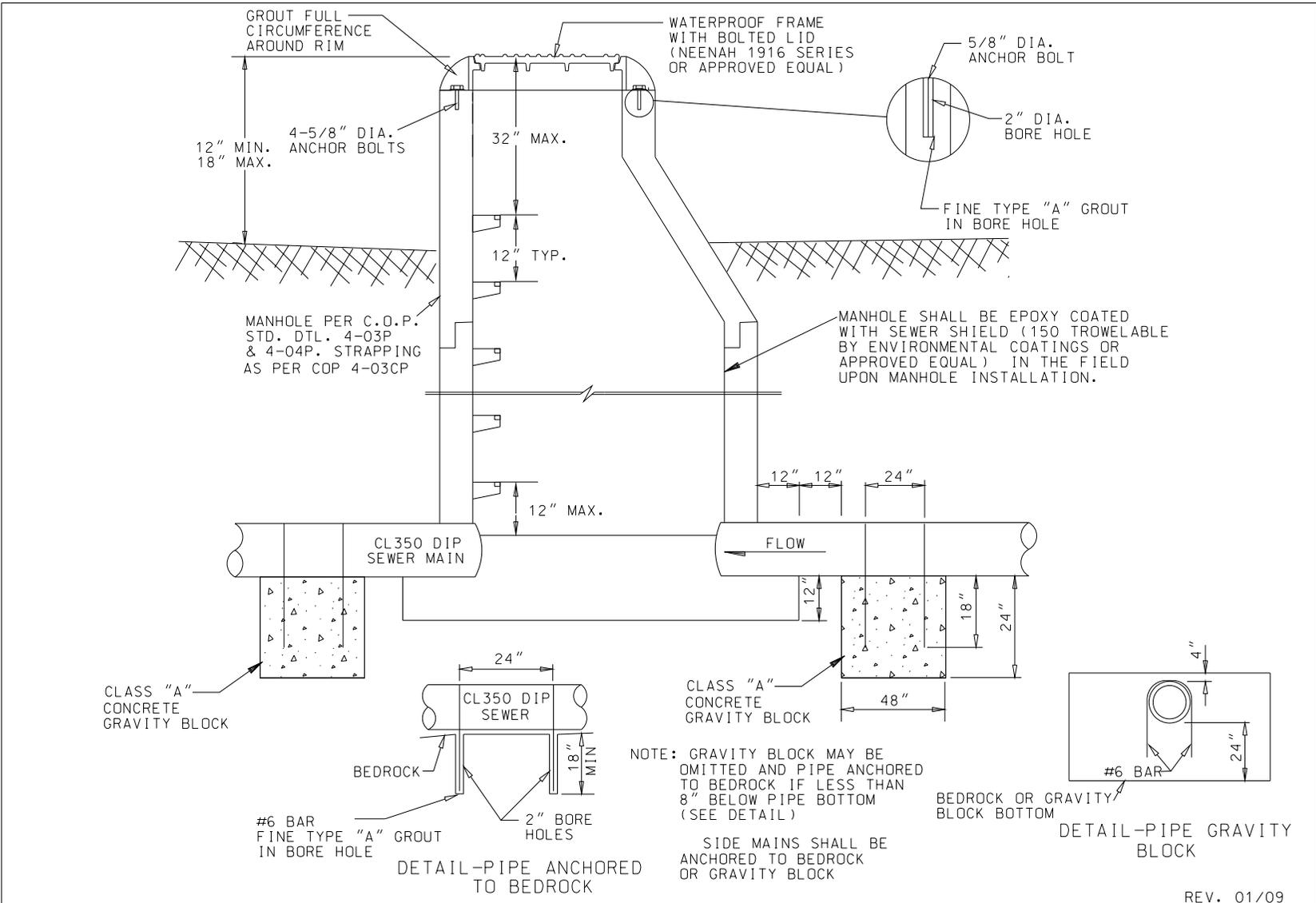
WHEN CAULDER COUPLING IS USED CONCRETE IS TO BE PLACED UNDER COUPLING TO TWO FEET EITHER SIDE OF CONNECTION AND TO SPRING LINE OF PIPE.

DETAIL NO.
4-02P

COP STANDARD DETAIL

BROKEN SEWER LINE REPLACEMENT

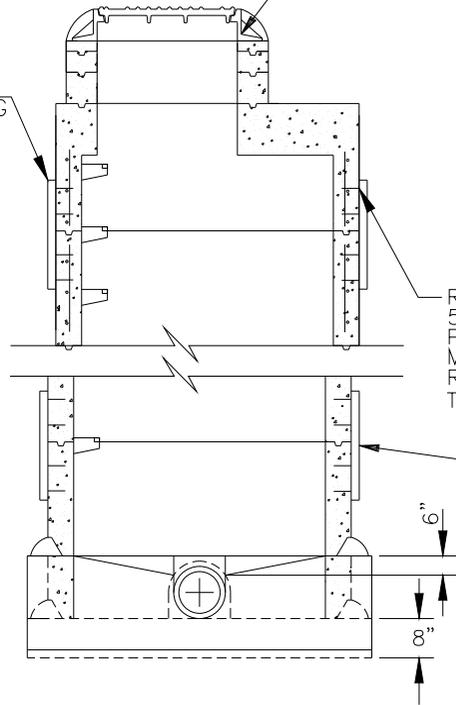
REVISED 03/09
DETAIL NO.
4-02P



DETAIL NO. 4-03BP	COP STANDARD DETAIL	MANHOLE IN DRAINAGEWAYS	REV. 01/09 DETAIL NO. 4-03BP
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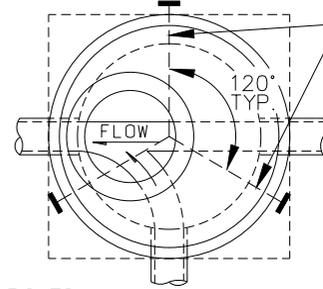
1/4" X 2" X 16"
STEEL STRAPPING
(BEND AS REQ'D
FOR TIGHT FIT)

ANCHOR MANHOLE RING
PER COP DTL. 4-03BP



RED-HEAD ANCHOR BOLTS
5/8" X 2 1/2" Ø INTO EXISTING
PRECAST CONCRETE
MANHOLE, MINIMUM 4 PER
RISER SECTION. BOLTS
TO BE 3" MIN. FROM JOINT.

STEEL STRAP MAY BE
INSTALLED INTERIOR
OR EXTERIOR PER
ENGINEERING APPROVAL



STRAPS TO BE PLACED
120° FROM EACH OTHER
3 STRAPS PER MANHOLE

revised 08/08

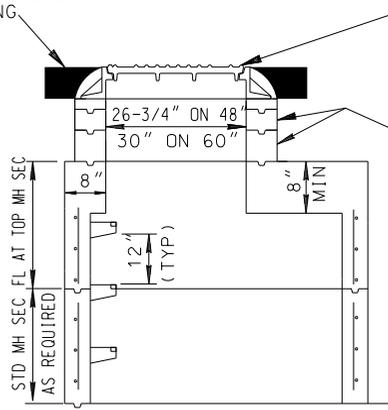
DETAIL NO.
4-03CP

COP STANDARD DETAIL

MANHOLE EXTERNAL REINFORCING STRAPPING

DETAIL NO.
4-03CP

COP 4-05P
CONCRETE
RING

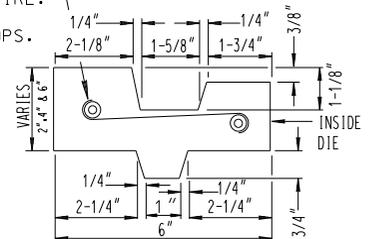


24" M.H.
FRAME & COVER
PER MAG DET. 424
& COP DET 4-05P.

REINFORCED CONC.
ADJUSTING RINGS

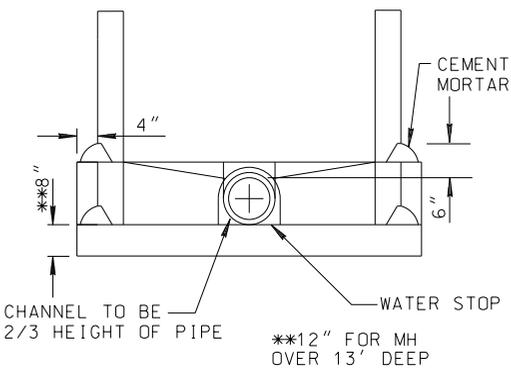
- NOTES:
1. PRE-CAST, REINFORCED M.H. SECTIONS SHALL BE MANUFACTURED IN ACCORDANCE WITH A.S.T.M. C-478M EXCEPT AS MODIFIED BY DETAILS BELOW.
 2. M.H. STEPS SHALL BE INSTALLED AT SITE OF M.H. SECTION MANUFACTURE
 3. STEPS TO BE LOCATED ON OUTLET SIDE OF MANHOLE.
 4. WATER STOPS TO BE USED ON ALL PIPE.
 5. ALL CONCRETE TO BE CURED AND PROTECTED (ESP. @ LESS THAN 40°F)
 6. GROUT ALL JOINTS TO SMOOTH SURFACE.
 7. SEWER TRACE WIRE NOT REQUIRED ON CITY OF PRESCOTT SYSTEM.
 8. CONCRETE TESTING SHALL BE SUBMITTED BY THE CONTRACTOR & SUPPLIED BY THE MANUFACTURER.
 9. MANHOLES SHALL BE LOCATED AT END OF SEWER LINES.
 10. FORCE MAIN DISCHARGE MANHOLES SHALL BE EPOXY LINED AS APPROVED BY THE CITY UTILITIES ENGINEER.

(2) NO.2 HOOPS FOR 4" RING TIED WITH NO 4 WIRE. 6" AND 8" RING REQUIRE (4) NO. 2 HOOPS.



ADJUSTING RING DETAIL

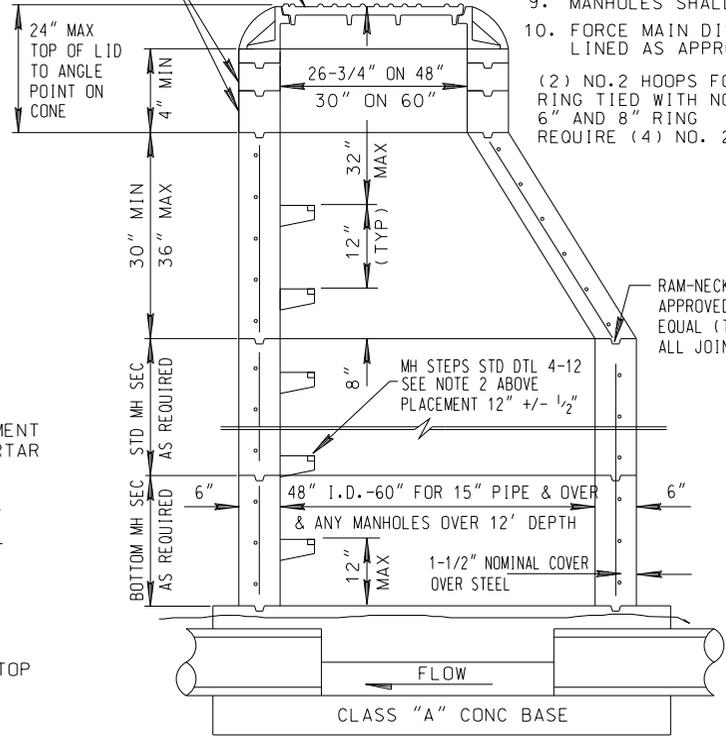
ALTERNATE: FLAT REINFORCED CONCRETE BASE



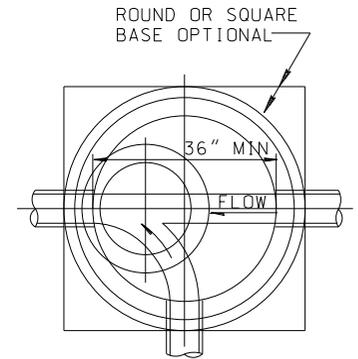
CHANNEL TO BE 2/3 HEIGHT OF PIPE

**12" FOR MH OVER 13' DEEP

ALTERNATE BASE ** WITH KNOCKOUTS FOR PIPES. CLEARANCE AROUND PIPES = 1" MIN.-3" MAX. EXCEPT LOWER CORNERS. BASE RING TO BE PLACED OR POURED IN PLACE BASE.



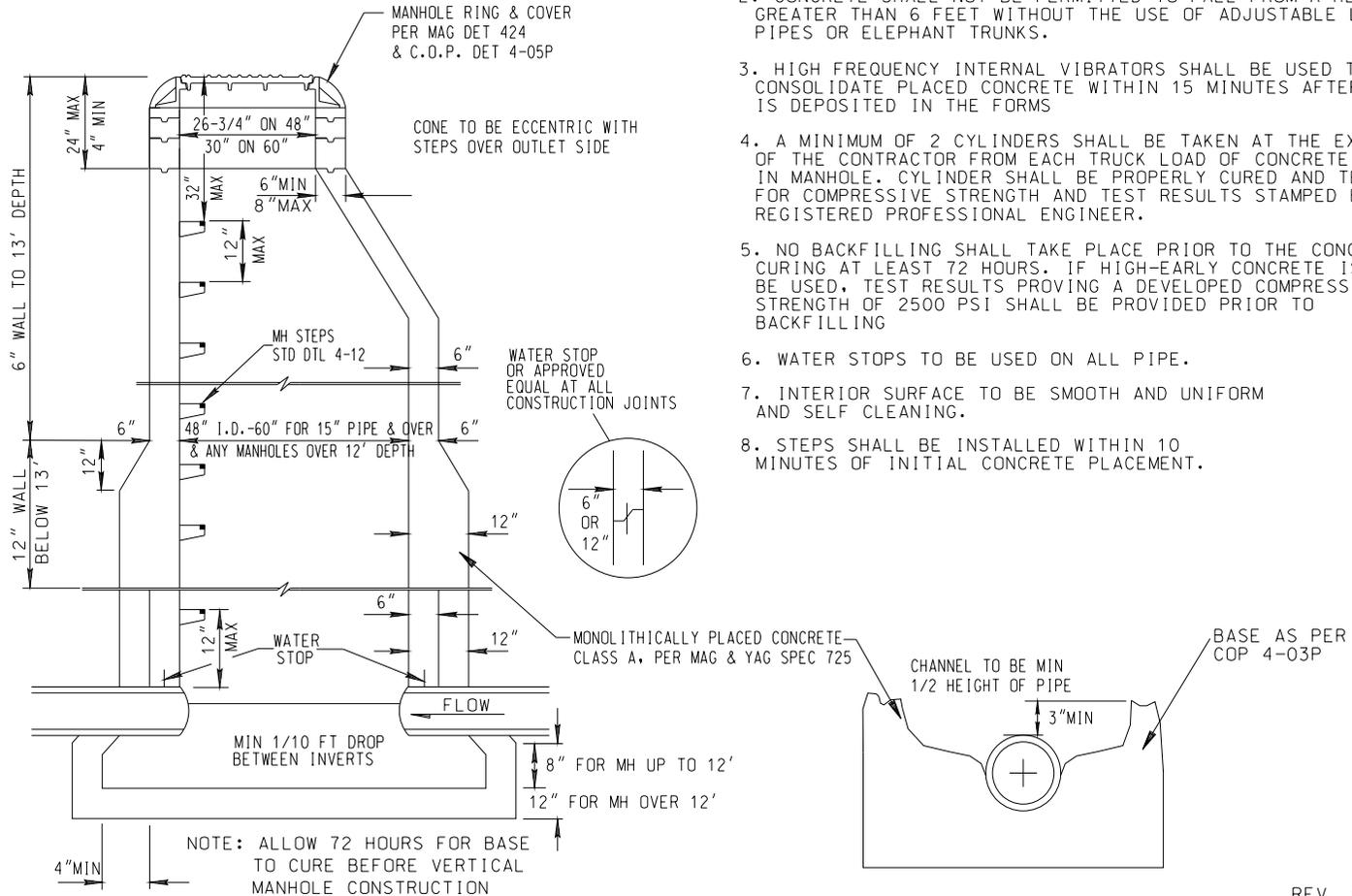
NOTE: ALLOW 72 HOURS FOR BASE TO CURE BEFORE VERTICAL MANHOLE CONSTRUCTION



DETAIL NO. 4-03P	COP STANDARD DETAIL	PRECAST CONCRETE SEWER MANHOLE	REV. 01/09 DETAIL NO. 4-03P
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NOTE: 32" MAX FROM RIM TO FIRST STEP.
PER C.O.P. DET 4-03P

- NOTES:**
1. CONCRETE SHALL NOT BE PLACED ON FROZEN GROUND NOR SHALL IT BE PLACED WHEN THE AMBIENT TEMPERATURE IS BELOW 40° UNLESS SATISFACTORY MEANS HAVE BEEN TAKEN FOR PROTECTING AND INSULATING THE CONCRETE DURING THE CURING PERIOD. ALL CONCRETE SHALL BE PROPERLY PROTECTED FROM FREEZING FOR A PERIOD OF SEVEN DAYS AFTER PLACEMENT AND ALL EXPOSED CONCRETE SURFACES SHALL BE IMMEDIATELY SPRAYED WITH AN APPROVED COLORED CURING COMPOUND.
 2. CONCRETE SHALL NOT BE PERMITTED TO FALL FROM A HEIGHT GREATER THAN 6 FEET WITHOUT THE USE OF ADJUSTABLE LENGTH PIPES OR ELEPHANT TRUNKS.
 3. HIGH FREQUENCY INTERNAL VIBRATORS SHALL BE USED TO CONSOLIDATE PLACED CONCRETE WITHIN 15 MINUTES AFTER IT IS DEPOSITED IN THE FORMS
 4. A MINIMUM OF 2 CYLINDERS SHALL BE TAKEN AT THE EXPENSE OF THE CONTRACTOR FROM EACH TRUCK LOAD OF CONCRETE USED IN MANHOLE. CYLINDER SHALL BE PROPERLY CURED AND TESTED FOR COMPRESSIVE STRENGTH AND TEST RESULTS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER.
 5. NO BACKFILLING SHALL TAKE PLACE PRIOR TO THE CONCRETE CURING AT LEAST 72 HOURS. IF HIGH-EARLY CONCRETE IS TO BE USED, TEST RESULTS PROVING A DEVELOPED COMPRESSIVE STRENGTH OF 2500 PSI SHALL BE PROVIDED PRIOR TO BACKFILLING
 6. WATER STOPS TO BE USED ON ALL PIPE.
 7. INTERIOR SURFACE TO BE SMOOTH AND UNIFORM AND SELF CLEANING.
 8. STEPS SHALL BE INSTALLED WITHIN 10 MINUTES OF INITIAL CONCRETE PLACEMENT.



DETAIL NO.
4-04P

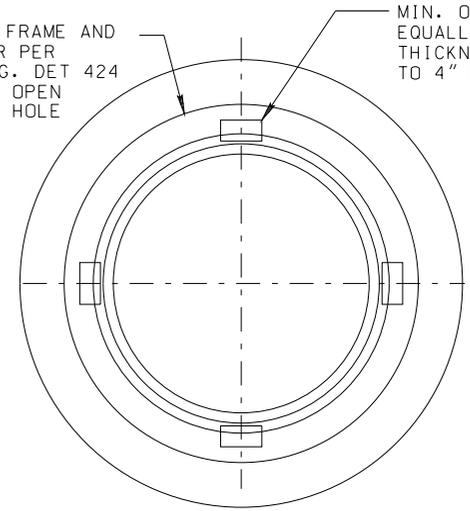
COP STANDARD DETAIL

CONCRETE SEWER MANHOLE-CAST IN PLACE

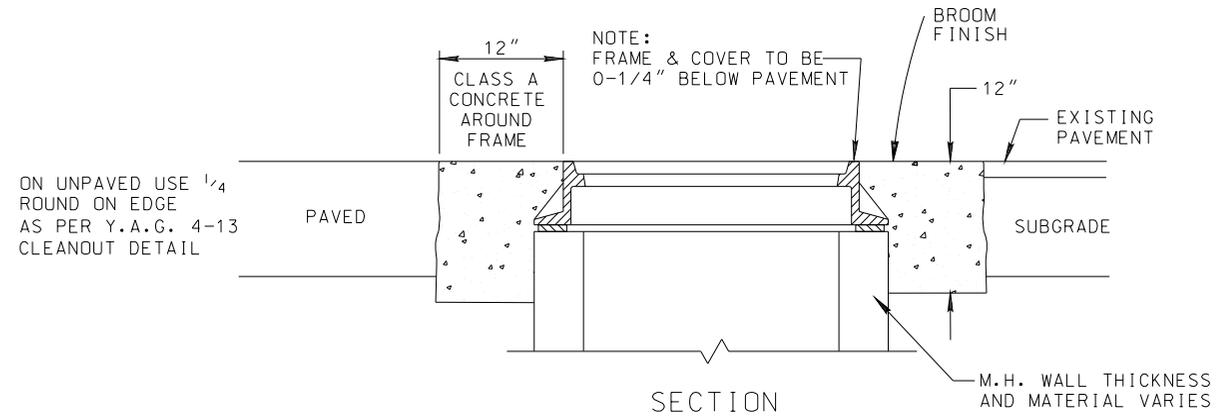
REV. 03/09
DETAIL NO.
4-04P

M.H. FRAME AND COVER PER M.A.G. DET 424 WITH OPEN PICK HOLE

MIN. OF FOUR STEEL SPACERS, EQUALLY SPACED, SIZE AND THICKNESS AS REQUIRED TO 4" MAX. THICKNESS



PLAN

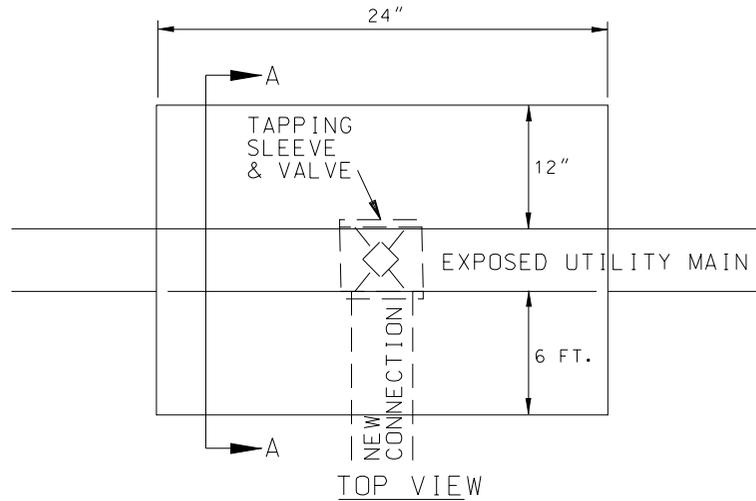


SECTION

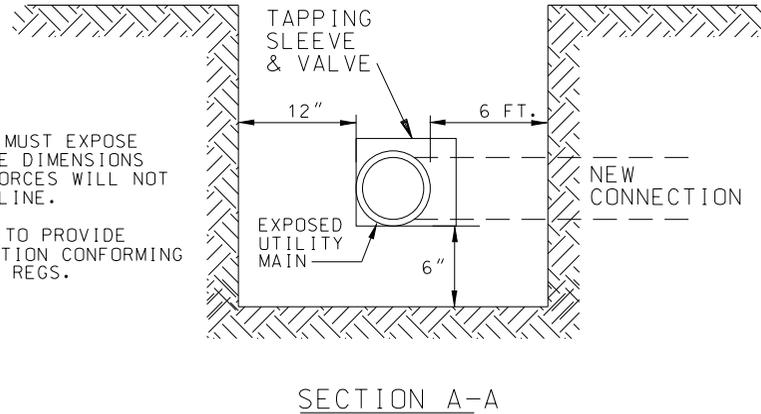
ON UNPAVED USE 1/4 ROUND ON EDGE AS PER Y.A.G. 4-13 CLEANOUT DETAIL

NOTE: ALL CONCRETE TO BE CURED FOR 5 DAYS AND INSULATED IF TEMPERATURE IS BELOW 40°F OR AS APPROVED BY THE AGENCY ENGINEER

DETAIL NO. 4-05P	COP STANDARD DETAIL	MANHOLE FRAME - GRADE ADJUSTMENT	REV. 01/09 DETAIL NO. 4-05P
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- NOTE:
1. CONTRACTOR MUST EXPOSE MAIN TO THESE DIMENSIONS OR UTILITY FORCES WILL NOT TAP THE MAINLINE.
 2. CONTRACTOR TO PROVIDE SAFE EXCAVATION CONFORMING TO O.S.H.A. REGS.



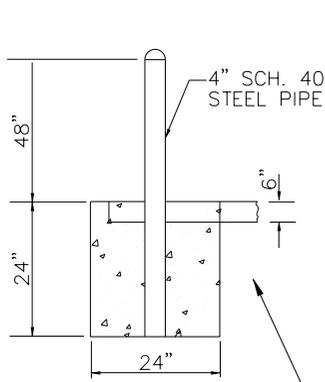
REV. 01/09

DETAIL NO.
4-14P

COP STANDARD DETAIL

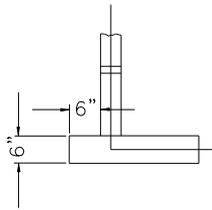
UTILITY MAIN EXPOSURE - NEW SERVICE CONNECTION

DETAIL NO.
4-14P

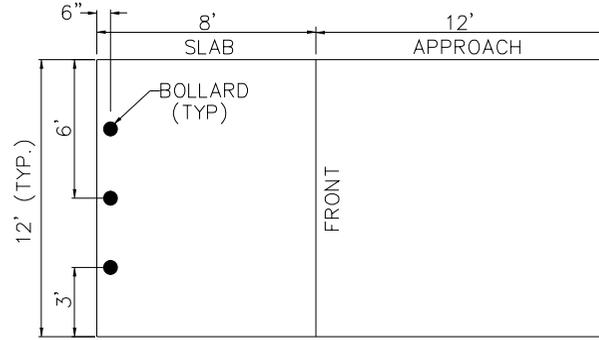


4' HIGH ABOVE PAD

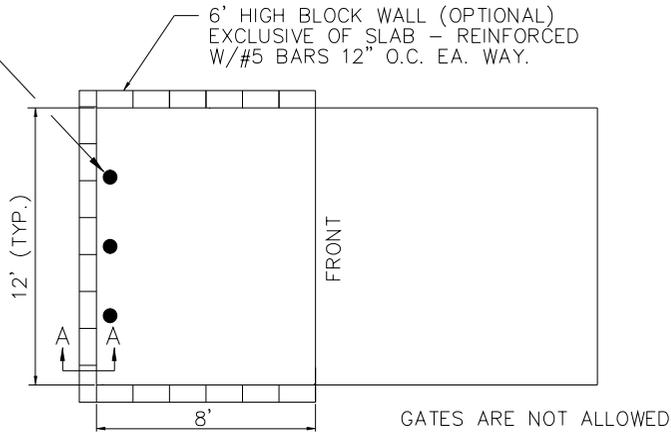
4' HIGH CONC. FILLED BOLLARD - BURY 2' W/24" COLLAR



SECTION A-A



DETAIL "A"



DETAIL "B"

SLAB DATA

1. MIN. 6" THICK CLASS "A" CONCRETE ON 4" A.B.C. 95% COMP. AS PER YAG & MAG 340 & 725
2. SLAB TO BE REINFORCED W/ 6x6 - 8/8 W.W.F.
3. SLAB TO BE POURED TO THE SAME ELEV. AS THE APPROACH.

DETAIL NO.
4-15P

COP STANDARD DETAIL

SANITATION DUMPSTER DETAIL

REV. 01/09

DETAIL NO.
4-15P

RELINER/DURAN, INC
 OR APPROVED EQUIVALENT
 Drop Bowl U.S. Pat. # 6074130
 RELINER U.S. Pat. # 5553973
 Additional Patents Pending

RELINER* INSIDE DROP BOWL
 SECURED WITH STAINLESS
 STEEL FASTENERS

EXTERNAL PIPE COUPLER

RELINER* STAINLESS STEEL
 STRAPS SECURED
 TO STRUCTURE
 WITH STAINLESS STEEL
 FASTENERS, AT 4' INTERVALS
 (MIN. OF 2)

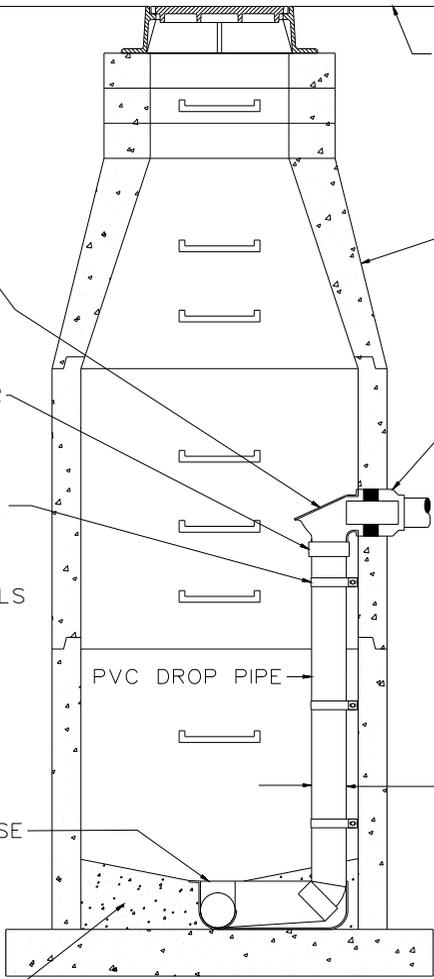
OPTIONAL RELINER * PLASTIC
 COMPOSITE MANHOLE INVERT
 REPLACEMENTS CAST INTO BASE
 EXISTING MANHOLE MAY REQUIRE
 INVERT TO BE MODIFIED TO
 CHANNELIZE FLOW.

CONCRETE

FINISHED GRADE

MANHOLE PER C.O.P.
 4-03P OR 4-04P

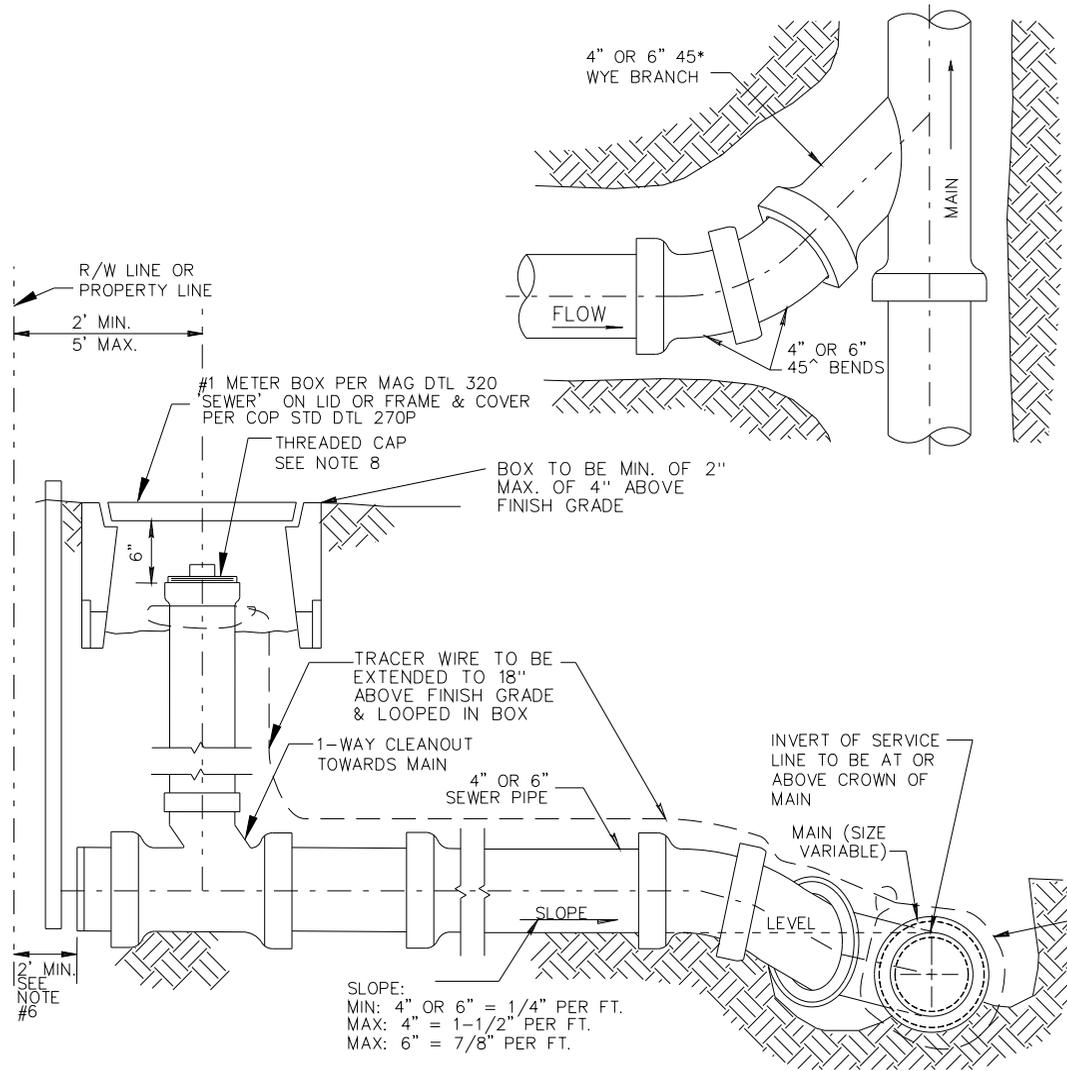
RUBBER BOOT PER MANUFACTURER'S
 SPECIFICATIONS. FOR CORE DRILL RETROFIT
 USE LINK SEAL OR APPROVED EQUAL.



SIZE PER MANUFACTURER'S
 SPECIFICATIONS

revised 01/09

DETAIL NO. 426A-P	COP STANDARD DETAIL	INSIDE DROP MANHOLE	DETAIL NO. 426A-P
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NOTES:

1. TAP EXTENDS TO PROPERTY LINE IN ALLEYS OR STREETS OR TO EASEMENT LINE.
2. SIZE OF TAP SHALL BE DESIGNATED ON PLANS.
3. CONSTRUCT TAP AT MIN. SLOPE IF COVER WILL BE LESS THAN 5' AT PROPERTY LINE.
4. IF DEPTH REQUIRES, MINIMUM SLOPE CAN BE REDUCED TO 1/8" PER FOOT PROVIDED SERVICE IS SURVEYED & STAKED TO GRADE.
5. ALL FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D-2321. THE CONTRACTOR MAY VARY FROM THE DRAWING TO USE THE APPROPRIATE WYES, TEE-WYES AND BENDS TO ENSURE NO MISALIGNMENT OF THE PIPE AND FITTINGS. BLOCK OR BRACE FITTING JOINTS TO ENSURE ZERO DEGREES ANGULAR JOINT DEFLECTION.
6. END OF TAP TO BE SEALED AND MARKED.
7. INSTALL RAISED 4" THREADED PLUG IN CLEANOUT
8. THE WORD 'SEWER' SHALL BE ON COVER & SHALL BE 3-3/4" TALL. THE WIDTH OF WORD LETTER SIZE SHALL BE 5/8" X 3/4".

DETAIL NO.
440-3P

COP STANDARD DETAIL

SEWER BUILDING CONNECTION
ONE-WAY CLEANOUT AND METER BOX

REVISED
01-01-2007

REVISED 01/09
DETAIL NO.
440-3P

1. ALL WORK SHALL CONFORM TO MARICOPA ASSOCIATION OF GOVERNMENTS (MAG), YAVAPAI ASSOCIATION OF GOVERNMENTS (YAG) & CITY OF PRESCOTT (COP) CONSTRUCTION STANDARDS & SPECIFICATIONS, WHICH ARE ON FILE IN THE OFFICE OF THE CITY ENGINEER.
2. ALL FRAMES, COVERS, VALVE BOXES, & MANHOLES SHALL BE ADJUSTED TO FINISH GRADE UPON COMPLETION OF PAVING, UTILITY, OR RELATED CONSTRUCTION.
3. ANY QUANTITIES SHOWN ON PLANS ARE NOT VERIFIED BY THE PUBLIC WORKS DIRECTOR.
4. ACCEPTANCE OF THE COMPLETED WORK WILL NOT BE GIVEN UNTIL 3 MIL MYLAR & CAD FORMAT DIGITAL 'AS-BUILT' PLANS ON CITY OF PRESCOTT SURVEY DATUM & COORDINATES HAVE BEEN SUBMITTED BY A REGISTERED PROFESSIONAL ENGINEER AND APPROVED BY THE PUBLIC WORKS DIRECTOR.
5. CITY OF PRESCOTT PUBLIC WORKS DEPARTMENT SHALL BE NOTIFIED 24 HOURS PRIOR TO THE START OF ANY WORK.
6. ALL WORK & MATERIALS WHICH DO NOT CONFORM TO THE SPECIFICATIONS ARE SUBJECT TO REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
7. ANY WORK PERFORMED WITHOUT THE KNOWLEDGE OF THE CITY OF PRESCOTT INSPECTOR OR HIS REPRESENTATIVE IS SUBJECT TO REMOVAL & REPLACEMENT AT THE CONTRACTOR'S EXPENSE.
8. THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEN & EQUIPMENT ON THE JOB AT ALL TIMES DURING CONSTRUCTION TO COMPLY WITH SPECIFICATIONS & TO COMPLETE THE WORK.
9. INSPECTION IS TO BE DONE BY THE CITY OF PRESCOTT PUBLIC WORKS DEPARTMENT OR THEIR REPRESENTATIVE.
10. CONTRACTOR TO NOTIFY PROJECT ENGINEER 72 HOURS (3 WORKING DAYS) IN ADVANCE OF CONSTRUCTION TO SCHEDULE CONSTRUCTION STAKING.
11. THE CONTRACTOR IS TO UNCOVER ALL EXISTING LINES BEING TIED INTO & VERIFY GRADES & ELEVATIONS BEFORE ANY OTHER CONSTRUCTION.
12. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL UNDERGROUND PIPELINES, TELEPHONE & ELECTRICAL CONDUITS & STRUCTURES IN ADVANCE OF ANY CONSTRUCTION & OBSERVE ALL POSSIBLE PRECAUTIONS TO AVOID ANY DAMAGE TO SUCH. THE ENGINEER &/OR OWNER WILL NOT GUARANTEE ANY LOCATIONS AS SHOWN ON THESE PLANS, OR THOSE OMITTED FROM SAME.
13. CONTRACTOR SHALL NOTIFY 'BLUE STAKE' AT 1-800-STAKEIT (1-800-782-5348) AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
14. CONTRACTOR SHALL VERIFY ALL QUANTITIES SHOWN & MAKE HIS BID BASED UPON THOSE VERIFICATIONS. IF ANY DISCREPANCY IN QUANTITIES IS FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SUCH.
15. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS SHALL BE COMPLIED WITH.
16. ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS SHALL APPLY WHEN MORE STRINGENT THAN THE MAG OR YAG STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION; MORE SPECIFICALLY WHERE THEY PERTAIN TO MAXIMUM ALLOWABLE SEWER LINE/PRESSURE SEWER LINE EXFILTRATION-INFILTRATION RATES.
17. ALL PLANS SIGNED BY THE CITY UTILITY ENGINEER ARE NULL & VOID ONE YEAR FROM DATE OF SIGNATURE IF CONSTRUCTION HAS NOT STARTED.
18. PROJECT ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING TRAFFIC CONTROL PLANS WHICH SHALL BE MADE A PART OF THE PLAN REVIEW REQUEST TO THE CITY ENGINEER FOR APPROVAL
19. WATER-SEWER SEPARATION SHALL BE PURSUANT TO AAC R-18-5-502C.
20. ALL TRENCHES & BEDDING SHALL BE PER COP DETAILS 2-01P & 2-02P & TECHNICAL SPECIFICATIONS.
21. ALL REVISIONS TO ORIGINAL PLANS MUST BE APPROVED BY THE PUBLIC WORKS DIRECTOR PRIOR TO CONSTRUCTION. ANY UNAPPROVED REVISIONS ARE SUBJECT TO REMOVAL & REPLACEMENT AT OWNER'S EXPENSE.
22. SEWER FORCE MAIN LINES SHALL BE DESIGNED AND CONSTRUCTED OF A MATERIAL SUITABLE FOR SANITARY SEWER PRESSURE PIPE AS APPROVED BY THE CITY UTILITIES ENGINEER. SEWER LINES SHALL BE PRESSURE TESTED TO A MINIMUM OF 50 PSI ABOVE DESIGN WORKING PRESSURE AT THE LOWEST POINT IN THE SYSTEM FOR A MINIMUM OF 4 HOURS IN ACCORDANCE WITH AAC R18-9.
23. SEWER LINE LOW PRESSURE AIR TESTS SHALL BE DONE ON 100% OF ALL LINES. TEST EACH SEGMENT OF THE SEWER LINE FOR LEAKAGE USING THE APPLICABLE METHOD BELOW AND RECORD THE RESULTS:
 - A.) "STANDARD TEST METHOD FOR INSTALLATION OF ACCEPTANCE OF PLASTIC GRAVITY SEWER LINES USING LOW-PRESSURE AIR, F1417-92(1998)" PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS.
 24. SEWER MANHOLES EXFILTRATION TESTS SHALL BE DONE ON 100% OF ALL LINES. VACUUM TESTING IN ACCORDANCE WITH 'AGENCY' STANDARDS MAY BE USED IN LIEU OF EXFILTRATION TEST. THE CONTRACTOR SHALL TEST EACH MANHOLE USING ONE OF THE FOLLOWING TEST PROTOCOLS:
 - A.) WATERTIGHTNESS TESTING BY FILLING THE MANHOLE WITH WATER. THE CONTRACTOR SHALL ENSURE THAT THE DROP IN WATER LEVEL FOLLOWING PRESOAKING DOES NOT EXCEED 0.0034 OF TOTAL MANHOLE VOLUME PER HOUR.
 - B.) NEGATIVE AIR PRESSURE TESTING USING THE "STANDARD TEST METHOD FOR CONCRETE SEWER MANHOLES BY NEGATIVE AIR PRESSURE" (VACUUM) TEST, C1244-02e1(2002), PUBLISHED BY THE AMERICAN SOCIETY FOR TESTING AND MATERIALS. THIS MATERIAL IS INCORPORATED BY REFERENCE & DOES NOT INCLUDE ANY LATER AMENDMENTS OR EDITIONS OF THE INCORPORATED MATERIAL, & MAY BE VIEWED AT THE ARIZONA DEPARTMENT OF ENVIRONMENTAL QUALITY, 1110 W. WASHINGTON, PHOENIX, AZ. 85007, OR OBTAINED FROM THE AMERICAN SOCIETY FOR TESTING & MATERIALS INTERNATIONAL, 100 BAR HARBOR DRIVE, WEST CONSHOHOCKEN, PA. 19428-2959.
 25. SEWER LINE DEFLECTION TESTS SHALL BE DONE ON 100% OF ALL LINES.
26. PRIOR TO PROJECT ACCEPTANCE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CITY OF PRESCOTT WITH A VHS VIDEO TAPE OR DVD & A HARD COPY REPORT OF ALL OF THE MAIN LINE INSTALLED WITHIN THE CITY OF PRESCOTT. THE CONTRACTOR SHALL COMPLY WITH THE CITY'S VIDEO ACCEPTANCE PROCEDURE PRIOR TO PROJECT RELEASE.
27. THE TOTAL LENGTH OF THE SEWER LINE SHALL BE TESTED FOR UNIFORM SLOPE BY LAMP LIGHTING, REMOTE CAMERA, OR SIMILAR METHOD APPROVED BY THE DEPARTMENT AND THE RESULTS RECORDED.
28. COVER EACH SEWER LINE WITH AT LEAST 3 FEET OF EARTH COVER MEETING THE REQUIREMENTS "TRENCH EXCAVATION, BACKFILLING, & COMPACTION" (SECTION 601) REVISED 2004, PUBLISHED BY THE MARICOPA ASSOCIATION OF GOVERNMENTS; & "RIGID PIPE BEDDING FOR SANITARY SEWERS" (WWM 104) REVISED JULY 2002, & "FLEXIBLE PIPE BEDDING FOR SANITARY SEWERS" (WWM 105), REVISED JULY 2002, PUBLISHED BY PIMA COUNTY WASTEWATER MANAGEMENT.
29. PRESSURE SEWER SERVICE LATERALS SHALL BE SUBJECT TO A PRESSURE & LEAKAGE TEST IN ACCORDANCE WITH AWWA-C-600 STANDARD. TEST PRESSURE SHALL BE 100 PSI, OR 50 PSI OVER WORKING PRESSURE, WHICHEVER IS GREATER.

DETAIL NO.
4-A-P

C.O.P. STANDARD DETAIL

SEWER PLAN GENERAL NOTES

REV. 01/09

DETAIL NO.

4-AP

Item # 4 –PP09-002

is associated with

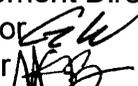
Item # 8- RZ 09-004

GP08-005
RZ08-006

General Plan Amendment & Rezone
1711 Thumb Butte Road

Agenda # 5 & # 6

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
STAFF REPORT
4/9/09 (Public Hearing)

TO: Planning Commission
FROM: Tom Guice, Community Development Director 
George Worley, Assistant Director 
Mike Bacon, Community Planner 
DATE: 3/26/09
SUBJECT: GP08-005 and RZ08-006
LOCATION: 1711 Thumb Butte Road
APN: 108-06-031K, -031P (±0.33 acres)
Applicant/Owner: Raymond and Lanette Hanna, 1877 Rust Oaks Lane, Prescott, AZ 86303

UPDATE. These 2 related requested were continued from the February 12, 2009 Commission meeting because the property owner was out of town. The requests have been re-noticed by U.S. mail to neighborhood residents and petition signers, and the property has also been re-posted.

Opposition: Since the February meeting, Staff has received about 9 phone calls opposing these requests, 5 additional letters (attached), and an additional 10 signatures on the petition in opposition. To date, there are about 35 letters in opposition & 75 new signatures (190 total) signatures on the opposition petition (new petition signatures attached).

Complaints: Staff also received a few telephone complaints on the scrub oak being cleared and trees being cut down. Although the owner has a right to clear personal residential property of shrubs and trees, non-residential property trees (should this General Plan Amendment and Rezoning be approved) which are cut down (of which there are presently 2) are to be replaced in accordance with Section 6.5 of the Land Development Code.

Development Agreement. Mr. Hanna stated that is willing to enter into a Development Agreement with the City to restrict usage of this property to only residential and non-medical offices.

REQUEST. General Plan Amendment from *Low-Density Residential (1-7 DUA)* to *Mixed Use* for properties with the following two Assessor Parcel Numbers (APNs) 108-06-031K, -031P; plus a rezoning request from SF-9 (Single-Family 9,000 sq. ft min lot size) to RO (Residential Office) on a parcel ±0.33 acres in size. A narrative further explaining this request was submitted by the applicant's architect and is attached.

AREA MEETING. A 90 minute area meeting was held with about 38 neighborhood property owners on Wednesday January 21. Mr. Hanna, applicant, explained that the proposed office would resemble the quality of the Hassayampa development, contain 4 offices, and would meet the SF-9 front yard setback requirement of 25-feet and corner yard setback of 15-feet,

not the RO zoning setbacks of 10-feet and 10-feet respectively, in order to better fit into the neighborhood.

Questions and issues by surrounding property owners included numerous General Plan and Rezoning process questions, project impacts to the school bus stop at the SW corner of Sherwood and Thumb Butte Road, drainage, spill-over parking on Sherwood Drive, tree removal, wildlife, traffic, and lack of sidewalks. The strongest concern expressed by most neighborhood residents was land use compatibility in a family-oriented neighborhood with increased traffic, many children, and Sherwood Drive as the most used accessed point to Thumb Butte Road for the neighborhood. In summary, the residents expressed strong opposition to the general plan amendment and the rezoning.

A question was asked as to whether this rezoning could set a precedent for other similar zoning at the intersection area. Staff responded that any property owner may file an application to rezone for a similar zoning district (such as RO in this case). Furthermore, any existing similar zoning in the neighborhood is an important consideration in the Staff and Commission’s recommendation for rezoning.

STAFF ANALYSIS. This is a minor amendment to the General Plan because the project size is less than 40 acres and less than 400 homes within a ¼ mile radius.

Consistency with the General Plan

The General Plan establishes planning policy and overall development concepts for comprehensive land use, circulation, and open space for various areas of the City. The project site is not located within any neighborhood plan or historic district.

The proposed project is located about ¼ mile west of Business General (BG) Zoning along Thumb Butte Road.

Neighborhood Compatibility

Direction	General Plan	Zoning	Land Use
North:	Low-Density Residential (1-7 DUA)	SF-9	Single-Family
East:	Low-Density Residential (1-7 DUA)	SF-9	Single-Family
South:	Open Space (Strickland Park)	NOS	City Park
West:	Low-Density Residential (1-7 DUA)	SF-9	Single-Family

RO Zoning. This district is intended to be designated along collector and arterial streets. Thumb Butte Road in this area and Hassayampa Lane are considered collector streets. Although the RO district is designated a “transitional zone between residential or mixed use areas and more intensive businesses uses”, the proposed RO zoning will be an island in a residentially zoned neighborhood which has no existing commercial uses or zoning.

Existing Site Conditions. The site is vegetated with mature ponderosa trees, fenced, and with a Hassayampa subdivision sign facing Hassayampa Drive. The sign will be retained. The applicant indicated at the Area meeting that the subject property was created as a metes and bounds parcel and was left over from the dedication of Hassayampa Drive to the new Hassayampa community to the south.

Photo 1: View SE from Thumb Butte Road at Sherwood Drive



Photo 2: View E from Sherwood Drive showing scrub oak removal.



Site Plan. The applicant proposes a single-story, wood-frame, 1,838 sq. ft. law office (see attached site plan) for the project site with access from Sherwood Drive opposite Meadowbrook Road. The site plan has been reviewed by the Pre-Application Conference Committee with their comments (attached) given to the applicant.

Traffic. The City Traffic Engineer reports that the location of this parcel between Hassayampa and Thumb Butte is problematic from a traffic access standpoint. The only access that would be acceptable from a traffic operations standpoint would need to come on Sherwood as the fourth leg of the existing intersection of MeadowBrook Road. No mitigation of any surrounding intersections would be required based on the small developed area.

He further reports that he contacted the Prescott School District about the bus loading area and found the following. They are currently picking up students from the south side of Thumb Butte just west of Sherwood in the shoulder area. The development site is across the street from this area and would not impact this operation. Additionally the development of such a small site would likely produce very low increases in traffic, allowing the existing roadway network and traffic control configurations to adequately handle the change.

Pros and Cons

- + Offices are a low-impact use (noise, traffic, etc).
- ± Other uses are allowed in the RO zoning district (see attached).
- ± Traffic would generally be more during the day (clients coming and going), rather than morning and evening for a residential use.
- ± Single-family use is allowed in RO.
- Extending office uses into a residential area when a commercial center and business zoning is located about 1/4 mile further east along Thumb Butte Road.

STAFF RECOMMENDATION

The site offers potential for single-family living, notwithstanding the shape of the lot, because of the parcel's character: rock outcrop offering a buffer on the east toward Hassayampa Lane, the mature ponderosa pines and other shrubs on the site, and the prevailing residential surroundings. The current proposal to law offices, because of its low impacts, has merit. Notwithstanding, the history of planning and zoning is indicative that an existing commercially zoned property presents an opportunity for extending similar commercial low-impact uses and commercial zoning when one such zoning district exists in an area.

2003 Prescott General Plan Section 4.4 (page 24)

"Business development, neighborhood and environmental protection efforts will at times conflict. The challenge lies in the choices and trade-offs the community must make when values conflict. In making these conscious community choices and tradeoffs, community wide interests and benefits will be primary criteria for resolving the conflict. When considering neighborhood conflicts not of a community wide impact, the concerns of the neighborhood will be the primary consideration."

Staff offers a recommendation of Denial to both the General Plan Amendment and the Rezoning request.

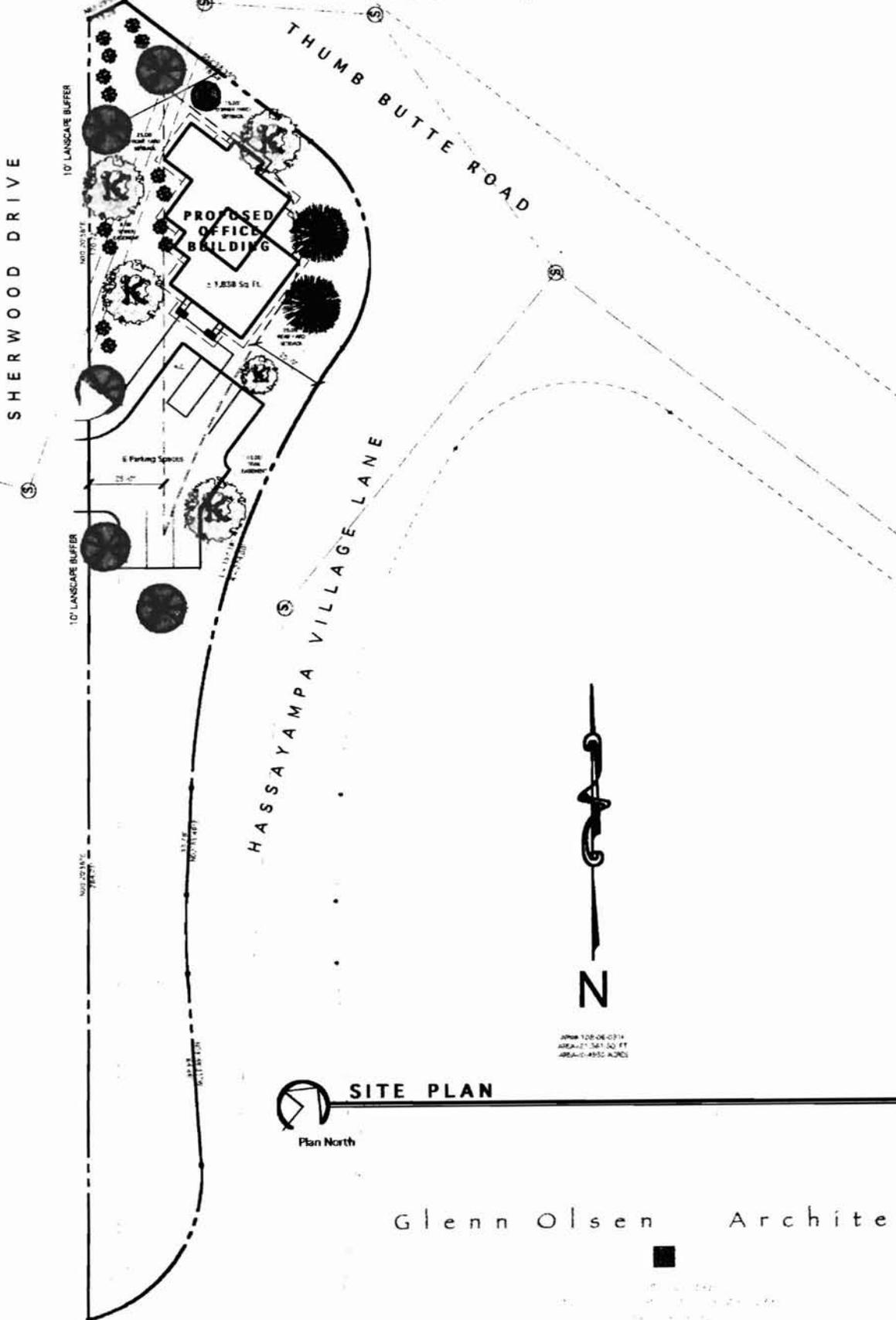
SUGGESTED MOTIONS:

(These must be voted upon separately).

1. Move to Recommend Denial of General Plan Amendment GP08-005 from Low-Density Residential (1-7 DUA) to Mixed Use; and
2. Move to Recommend Denial of Rezone RZ08-005 from SF-9 to RO.

THE HANNA OFFICE BUILDING

1711 THUMB BUTTE ROAD
PRESCOTT, ARIZONA



SITE PLAN

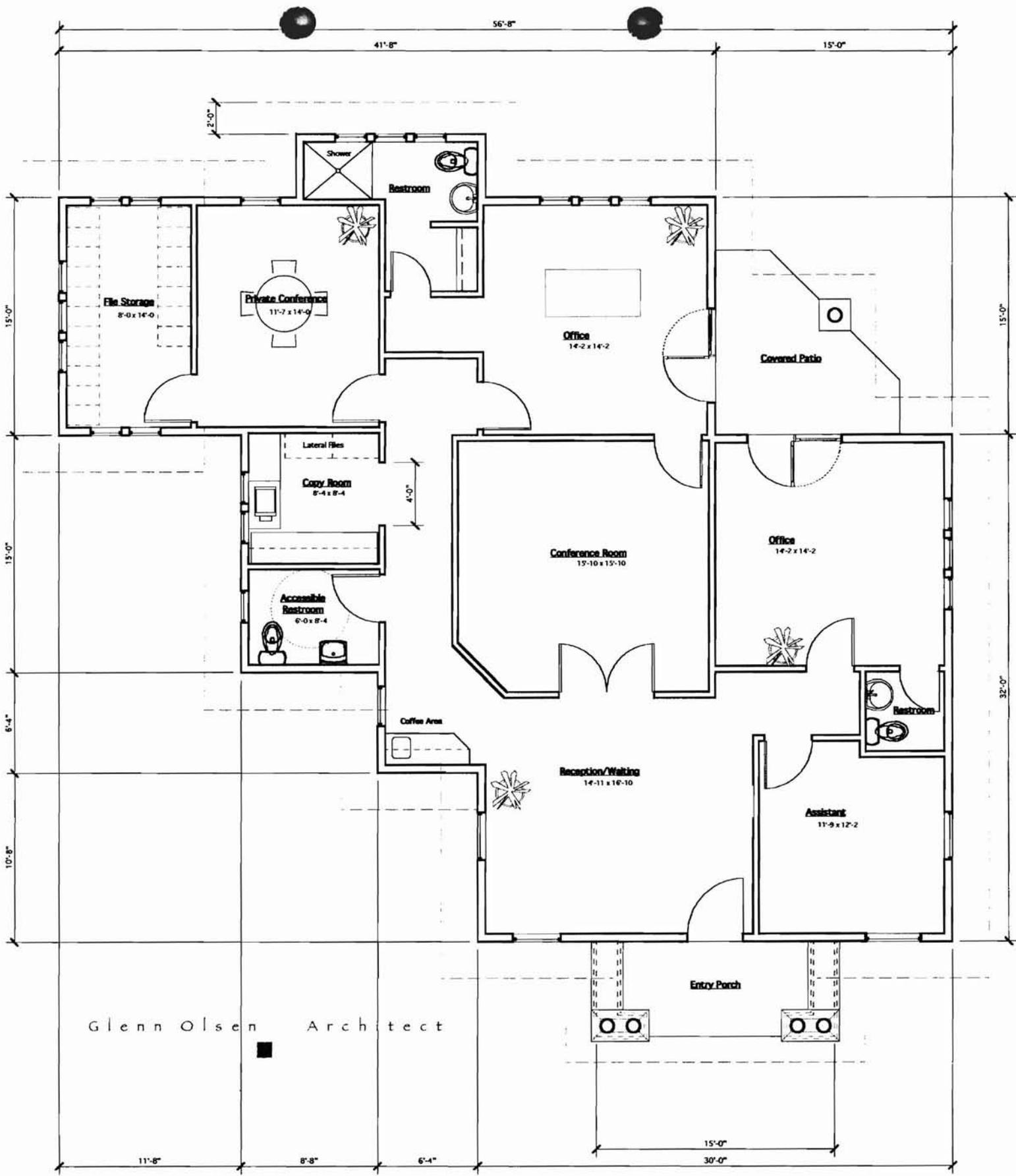
Plan North

1" = 20.00'
1" = 50.00'

Glenn Olsen Architect



1711 THUMB BUTTE ROAD
PRESCOTT, ARIZONA 86301
PHONE: 928-778-1234
FAX: 928-778-1235

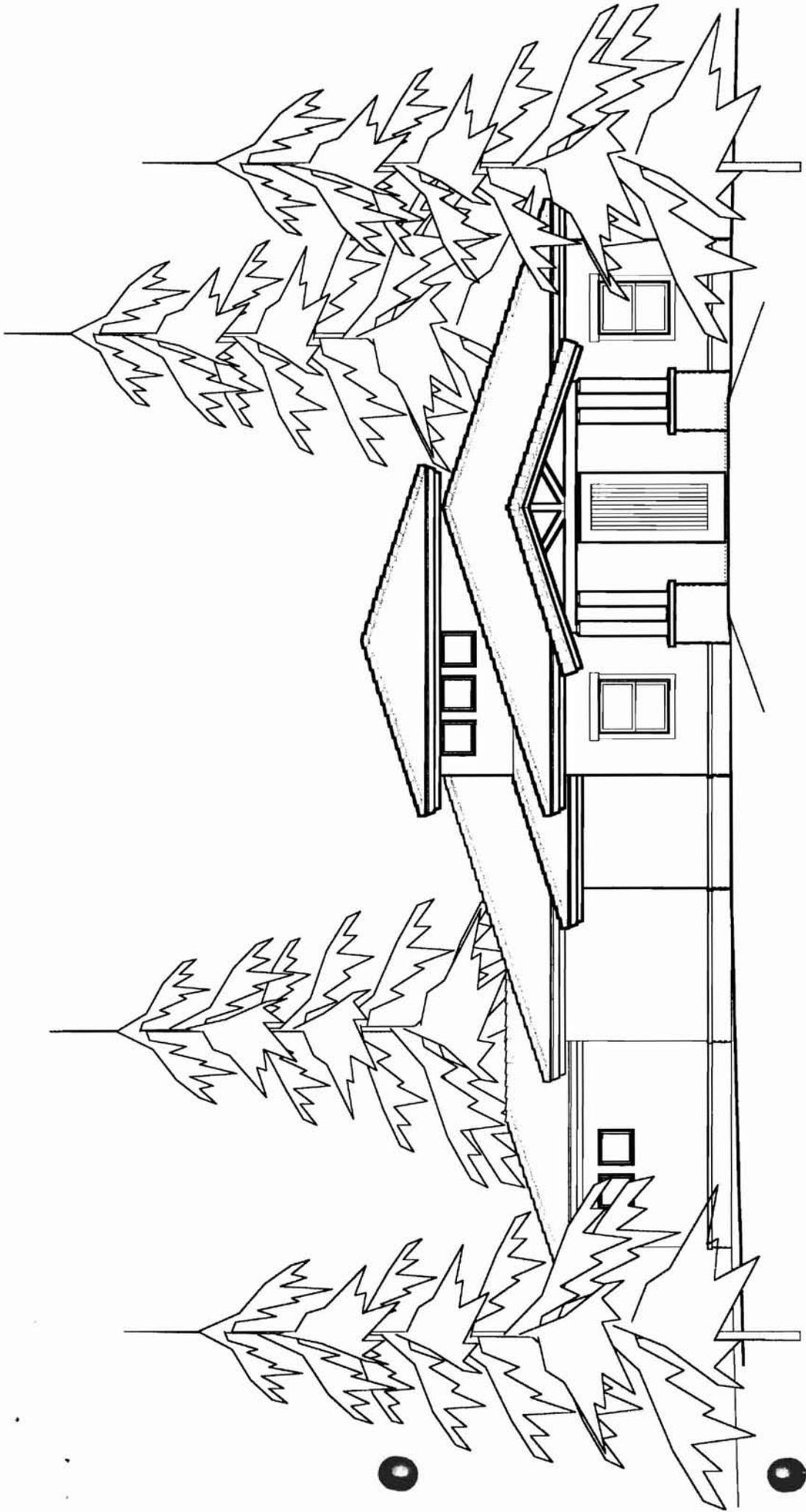


FLOOR PLAN

Plan North

Building Area = 1,838 Sq. Ft.

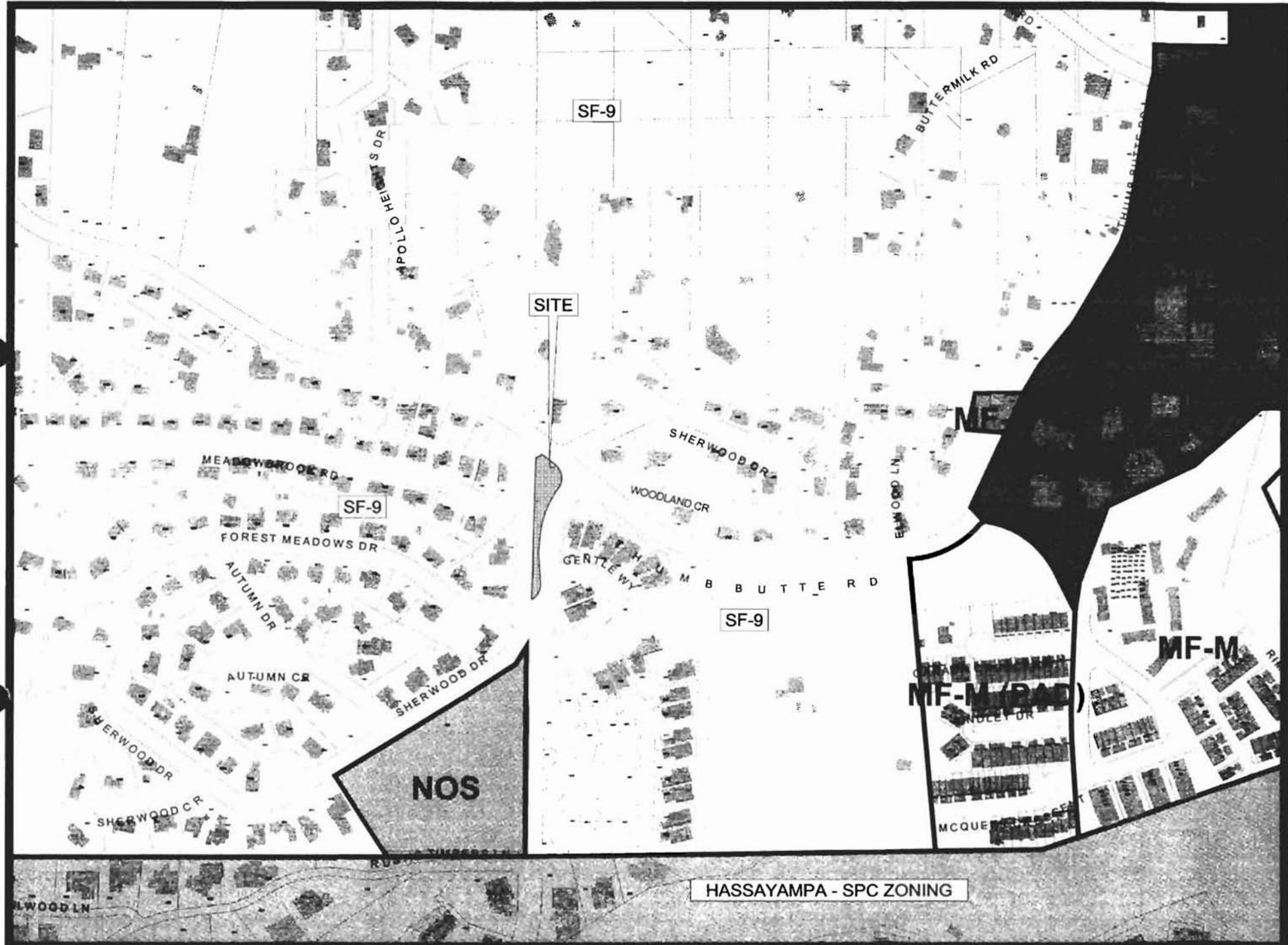
1/8" = 1'-0"



SOUTH ELEVATION

1/8"=1'-0"

Glenn Olsen Architect



SF-9

SITE

SF-9

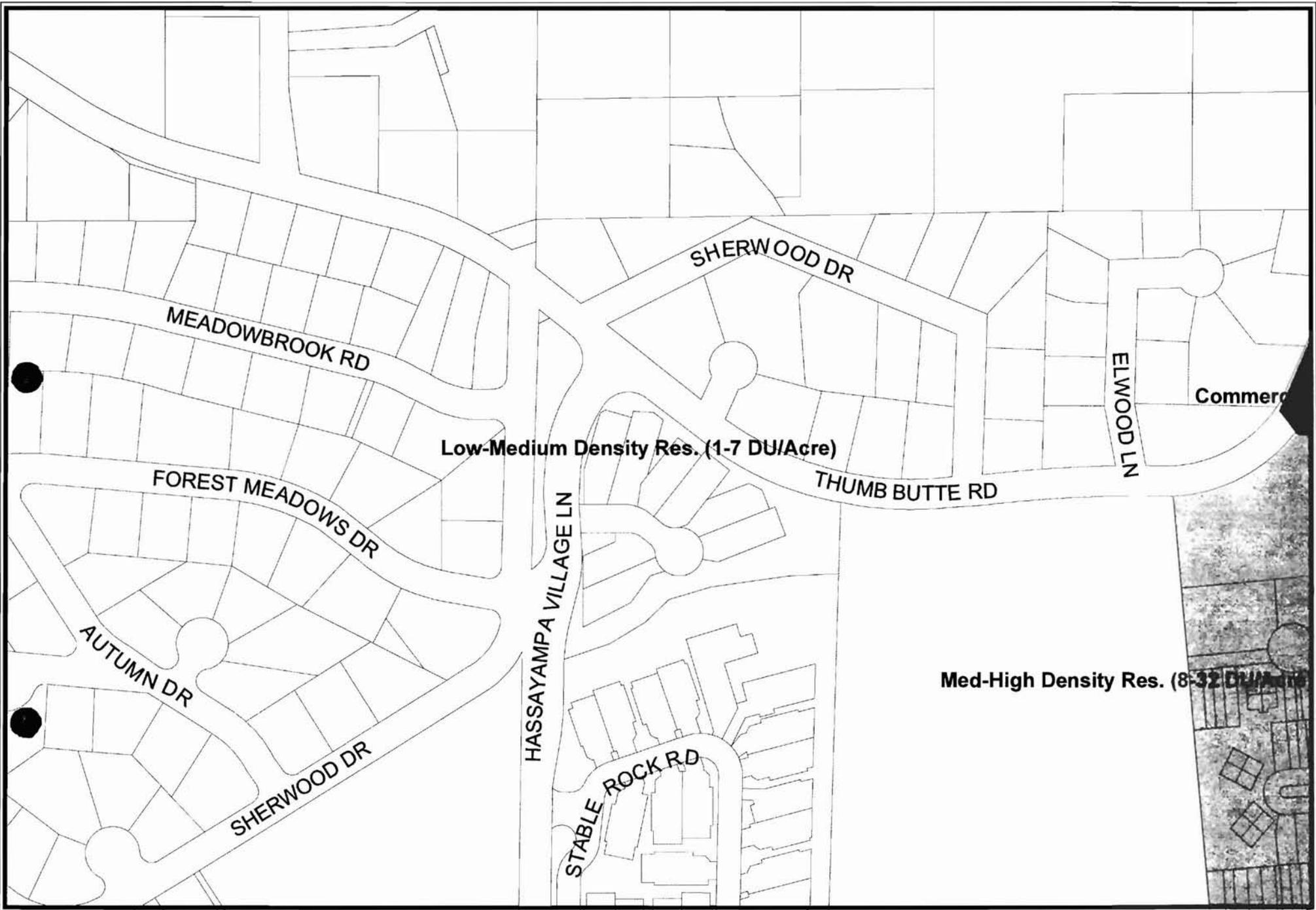
SF-9

NOS

MF-M

MF-M (RAD)

HASSAYAMPA - SPC ZONING

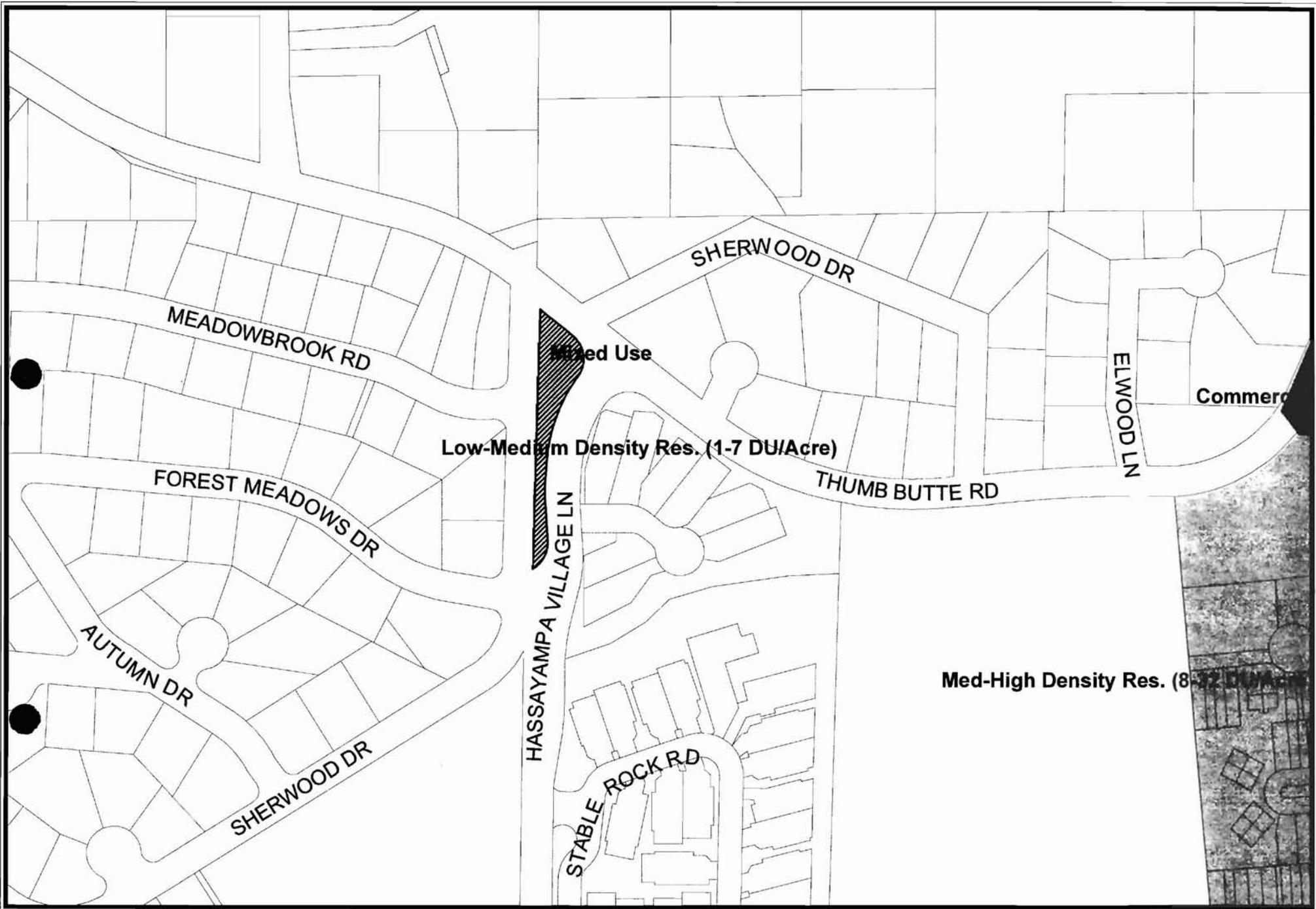


GPA 08-005

Existing General Plan Land Use Designations

Parcels:
108-06-031k
108-06-031p

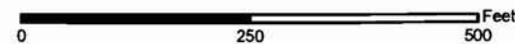




GPA 08-005

Parcels:
108-06-031k
108-06-031p

Proposed General Plan Land Use Designations





CITY OF PRESCOTT

COMMUNITY DEVELOPMENT DEPARTMENT
201 SOUTH CORTEZ (928) 777-1207
P.O. BOX 2059 Fax (928) 777-1258
PRESCOTT, AZ 86302 TDD (928) 777-1100

GPO8-005

GENERAL PLAN AMENDMENT APPLICATION # _____

Filing Fee: Major Amendment \$578 Minor Amendment ~~\$578~~ Check No. _____ Received By: _____

- Schedule an appointment with the Planning and Zoning Staff to discuss this major application and also to review the procedure for processing this request. **Note:** Rezoning Applications cannot be heard on the same agenda as associated General Plan Amendments.

Complete the following:

APPLICANT/AGENT: (if other than legal owner)

Name RAYMOND HANNA
 Address P O BOX 2299
 City/State/Zip PRESCOTT AZ 86302
 Phone 928 771 9050

LEGAL OWNER:

I hereby certify that I am (we are) the owner's of record of the property described in this application

Name RAYMOND HANNA Name LANETTE HANNA
 Address 1877 RUSTLING OAKS LN Address 1877 RUSTLING OAKS LN
 City/State/Zip PRESCOTT AZ 86303 City/State/Zip PRESCOTT AZ 86303
 Phone 771 9050 Phone 443 0007
 Property Location 1711 THUMB BUTTE ROAD
 County Assessor's Parcel # 108-06-031K & 31P
 Existing Property Use: SF-9 Zoning: SF 9 Size of Property: 15
 Proposed Project: RO SOLO PRACTITIONER LAWYER

PROPOSED General Plan Map Designation: MIXED USE

EXISTING General Plan Map Designation: LOW MEDIUM RESIDENTIAL

Rationale for Amendment (Please be specific: attached more pages if needed):

OWNER WISHES TO REZONE PARCEL FROM SINGLE FAMILY RESIDENTIAL SF-9 TO RESIDENTIAL OFFICE (RO) TO ACCOMODATE HIS OWN LAW OFFICE. OWNER IS A SOLO PRACTITIONER. THE PARCEL IS A LONG NARROW LOT SURROUNDED BY THUMB BUTTE ROAD, MASSYAMPA VILLAGE LANE AND SHERRODD DRIVE. THIS ODD LOT REMAINED AFTER THE CREATION OF MASSYAMPA VILLAGE LANE AND IS NOT SUITABLE FOR RESIDENTIAL DEVELOPEMENT.

RECEIVED

MAR 05 2009

CITY OF PRESCOTT
COMMUNITY DEVELOPMENT

Feb. 6, 2009

City of Prescott
Community Development
Prescott, Az.

Attention: Tom Guise

Re: Case #GP08-005 and #RZ08-006

Subject Property: 1711 Thumb Butte Rd.

Dear Sir,

I have been notified by a client/friend who owns property near this subject property that the property owner has asked for a variance to build his commercial office in this area of family homes.

It is my opinion as a realtor of 30 years, that this would greatly reduce property values to allow this commercial office to be built.

I trust you will consider this as you decide what to do with this request.

Sincerely,



Sally Lerette, CRS, GRI
Associate Broker,
Red Arrow Real Estate
1107 E. Gurley
Prescott, Az. 86301



RED ARROW REAL ESTATE 

Sally Lerette

Associate Broker, CRS, GRI, ABR
Multi-Million Dollar Producer

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Toll Free Office: (888) 668-6487

Business: (928) 778-2525

Cell: (928) 899-1163

Fax: (928) 778-2599

email: sally@lerette-prescott.com

1107 E. GURLEY ST., PRESCOTT, AZ 86301



Richard and Robin Derrickson
1838 Autumn Circle
Prescott, AZ 86303-5654

Phone: 928-443-8402
E-mail: RDPaws@MSN.Com

March 19, 2009

TO: City of Prescott
Community Development-Planning & Zoning Division
of the Planning & Zoning Commission

ATTENTION: MIKE BACON, Community Planner
200 South Cortez
Prescott, AZ 86303

SUBJECT: GP08-005 and RZ08-06
LOCATION: 1711 Thumb Butte Road
APN: 108-06-031k, -031p (+_ 0.33 ACRES)

RECEIVED

MAR 19 2009

CITY OF PRESCOTT
COMMUNITY DEVELOPMENT

We implore you to deny the request to amend the General Plan from Low-Medium Density Residential to Mixed Use. **This established 50 year old neighborhood of single family homes is not in transition and will not be unless you make it happen.**

Section 4.2, of the General Plan states: "The challenge for the city is: to assure the continued vitality and longevity of existing commercial and industrial areas; to zone additional sites suitable for business, commercial and industrial development as the community and region grow; **but to do so without sacrificing** the historic and cultural resources and open spaces valued by the community **or creating undue negative impacts on existing neighborhoods.** Approving this request to amend the General Plan and rezone would cause serious undue hardship and have a significant negative financial impact on the neighborhood. This financial impact and hardship can be avoided. The Pros and Cons section of Planning Staff's report, dated January 20th, 2009, states: "extending office use into a residential area when a commercial center and business zoning is located about ¼ mile further east along Thumb Butte Road"; this statement is reflected as a negative. At the moment, there are sites available, which meet the General Plan's stated objective of assuring continued vitality and longevity of existing locations zoned for business.

The parcels being considered do not meet the criteria of an RO in Section 4.5.1 of the City of Prescott's Land Development Code. This section states, "The Residential Office (RO) is a low-intensity business district that provides a transitional zone between residential or mixed-use areas and more intense business uses." To approve this request for the General Plan Amendment and rezoning means you are encouraging our neighborhood to become transitional. Further Section 4.5.1 states, "The RO district provides specific standards for the development of small-scale business, office, or service uses. **RO district uses attract customers from adjacent neighborhoods** and are typically located **along collector or arterial streets**. This definition describes perfectly the area mentioned in report dated 1/20/09 from the Planning Staff which says, "a commercial center and business zoning is located about ¼ mile further east along Thumb Butte Road. "

Section 4.4 of Prescott's General Plan titled "Balancing Community Values" states in part, "When considering neighborhood conflicts not of a community wide impact, **the concerns of the neighborhood will be the primary consideration**". This conflict is not a community wide concern; therefore it should be resolved for the benefit of our neighborhood.

If this request for a General Plan Amendment and rezoning of parcels in our SF-9 neighborhood is approved, it will establish a precedent to justify subsequent requests to amend the General Plan and rezoning. Our concern is this precedent would open the likelihood of additional requests to rezone the undeveloped lot on the corner of Autumn Drive and Sherwood, the lot on Autumn Circle and other neighborhood parcels. Needless to say this would negatively change the character of our neighborhood. The **best use of all property in our neighborhood** is to have it remain compliant with the current SF-9 zoning as defined in the Land Development Code Sections 3.6.1 through 3.6.4.

Many of us have expressed our staunch opposition to this re-rezoning and have stated the neighborhood is not in transition. We have also stated a single family home within the guidelines of the SF-9 definition is the "best use" of the site. It is an SF-9 area.

We urge you to deny Mr. Hanna's request for inappropriate rezoning of this location which will devalue the homes in the area. In essence, he will gain financially from his for-profit business at the detriment and expense of the current neighbors and residents. Conventional wisdom: when a business is created in the midst of a residential neighborhood the neighborhood's character is negatively impacted and changed.

In summary approving Mr. Hanna's request will:

- a) Instantly create a negative impact on the existing neighborhood
- b) Devalue the homes in the immediate area and financially benefit the applicant
- c) Open Pandora's Box for future requests with identical or similar characteristics
- d) Marginalize the work and value of the City's General Plan. Once the goals and guidelines in the General Plan are abandoned, the city will be without established criteria for preventing the creeping expansion of business development within a residential neighborhood. The earlier cited sections of the current General Plan will become ineffectual.

Please deny this request to amend the City's General Plan and to re-zone. Allow our neighborhood to remain a lovely area of family homes amongst the Ponderosa Pines.

Thank you



Richard E. Derrickson



Robin O. Derrickson

CC : Jack Wilson, **Mayor**

Council Members:

- Bob Bell
- Jim Lamerson
- Lora Lopas
- Robert Luzius
- Bob Roecker
- Mary Ann Suttles

Other interested Parties:

- Steve Norwood, City Manager
- Lillian Pence, Resident, 1710 Sherwood Drive

RECEIVED

MAR 13 2009

CITY OF PRESCOTT
COMMUNITY DEVELOPMENT

March 12, 2009

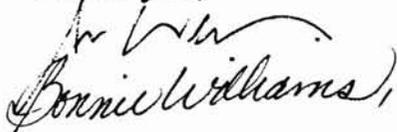
City of Prescott
Community Development Department
Planning and Zoning
c/o Mike Bacon
210 South Cortez Street
Prescott, Arizona 86302

RE: General Plan Amendment / Rezoning Request
Parcel: 108-06-031K
1711 Thumb Butte Road

Dear Sir:

Just because the trees are down, the foliage is gone and the quail are now homeless, does not mean this neighborhood wants nor needs a zoning change to build a business building on the corner of Thumb Butte and Sherwood Drive. The letter from Mr. Hanna and the clearing of the property has not changed the minds of the majority of the neighborhood. I and my family are still not in favor of changing the zoning of this area.

Thank you,



Bonnie and Jim Williams
Sherwood Drive
Prescott, Arizona

January 15, 2009
&
March 12, 2009

City of Prescott
Planning and Development Department
In Reference: GP08-005 and RZ08-006
1711 Thumb Butte Rd.

Dear Mr. Bacon,

We are writing with concern about the zoning change which is being proposed for the area of Thumb Butte and Sherwood Drive in Prescott.

This change seems unnecessary as the vehicle traffic as well as the foot traffic is already heavy in this area. There is a school bus stop at Thumb Butte and Sherwood Drive that has been there over 30 years, as well as several school children who play and ride their bikes on Meadowbrook, Forest Meadows and Sherwood Drive. These are the intersections involved in this zoning change and subsequent building.

There is vehicle and foot traffic to and from Stricklin Park, (located on Sherwood Drive) daily.

Another concern is the property value with the zoning change from Single-Family 9 (SF-9), to Residential Office (RO); this area is an aesthetic buffer between Sherwood Drive and Hassayampa Village Lane. Building an office building here would certainly take away from this and tend to lower the value of the homes in the vicinity. No other commercial development is in this residential area. The neighborhood should be kept as single-family zoning.

We understand that the law office that is proposed may not be as busy as other commercial businesses, however looking into the future we assume the property could be sold or rented to another business creating unwanted traffic and lower home values for this area.

As concerned residents of this neighborhood for over 35 years we would like to ask that the zoning change not be approved.

Thank you for your consideration in this matter,



James L. Williams and Bonnie Williams
1886 Sherwood Drive
Prescott, Arizona 86303

Prescott Community Development and City Council:

I am a home owner on Sherwood Drive, in the neighborhood where Raymond Hanna has asked for a zoning change (Case number GP08-005 and RZ08-006) to allow him to build a "Residential Office." He points out in a letter dated February 2 that a home office is already allowed. He lives nearby. Why doesn't he just convert one of his spare bedrooms to an office and invite his clients into his neighborhood instead of ours!

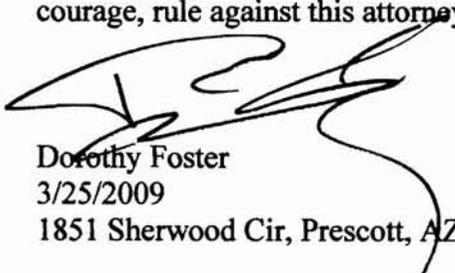
Mr. Hanna's letters to the Planning and Zoning office dated February 2, and February 11, 2009 are crammed with specious arguments. Firsts, he lists all the possible non-residential uses he's NOT asking for. This is like one of your kids trying to get out of trouble by pointing out all the bad things he could have but hasn't done, to distract you from the one he did do.

The letter also contains a veiled threat to turn the lot into a "more undesirable structure" – a group home or seasonal rental - if he doesn't get his requested zoning change. Sorry, but we already have rentals in the neighborhood, and that's fine. They are our neighbors, and they're welcome. And as far as a group home goes, fine. What I do strongly object to is a change to the General Plan, and ruination of a wonderful family neighborhood.

We bought residences in this neighborhood under a set of rules. Mr. Hanna wants to change the rules, and possibly just in hopes of making a quick buck, because in one letter he refers to "successor owners." He claims no criminals will visit his office. But how about those successor owners? Give us the group home, Mr. Hanna, if you're bent on reprisal, which it sounds like you are.

Then there's the legalese element of his letter: The lot is "transition" because "the City allowed it [it's your fault] to be surrounded by three busy streets." Sherwood Drive is busy...with kids on bikes. It is not a through street, and traffic is resident related. But, to follow Mr. Hanna's thread, he's only requesting the lot be "consistent" with the surrounding environment, and said change would be "minor" and wouldn't "improperly benefit one individual." Huh? He's the only one that would benefit. There's no non-residential property around, and the change he wants is not "minor." Does he think you/we are *stupid*? Yes, actually I think he does. He's been quite contemptuous of the neighbors, referring to us as a "mob" and other slurs. When have we "not been willing to listen or take advice from City Staff members"? Don't fall for his straw-man arguments.

Mr. Hanna asks that you have the "political courage" to rule against the residents of Forest Village. What a non sequitur this is. In fact, if you really want to show political courage, rule against this attorney who openly has political ambitions.


Dorothy Foster
3/25/2009
1851 Sherwood Cir, Prescott, AZ 8630

RECEIVED

MAR 30 2009

CITY OF PRESCOTT
COMMUNITY DEVELOPMENT

Planning and Zoning Commission
City of Prescott

RE: General Plan Ammendment/Rezoning Request Parcel: 108-06-01K & -031P

I live at the corner of Thumb Butte Road and Sherwood Drive, directly across the street from Mr. Hanna's proposed rezoning and office building. Though I have been out of town for all the previous meetings between the City of Prescott and Mr. Hanna, I want to state my strong objections to a change in the General Plan and to the rezoning of lots with APN #s 108-06-031K and -031P.

First of all, an office building, regardless of the setbacks, would not fit into our older, well-established Sherwood Drive neighborhood of single-family homes. There is no current similar zoning (RO) in the neighborhood. Though there is Business General zoning a quarter of a mile down the road, that is a long distance, especially with the lay of the land and curvature of the roads leading into our distinctively separate neighborhood area.

If it is true that the project site is not located within any neighborhood plan, then it must be considered that it is surrounded by only residential neighborhood plans, all with single-family zoning and no RO or commercial zoning. This is the reason it was assigned single-family zoning in the first place. Again, it is situated in the middle of a well-established, older residential, family oriented neighborhood. The City Engineer is correct in reporting that the location of this parcel is problematic from a traffic access standpoint.

The letter of support for Hanna's project received by the City should be disregarded due to a conflict of interest by the person who wrote it, whether it was his realtor or his architect.

The lot has never been a "lot in transition" as stated by Mr. Hanna. It may have been considered "open space" because that is the best use of the land. To build an office building on this lot in a residential neighborhood is NOT the best use of the land. To say that this lot is "in transition" because it was assigned SF-9 zoning, consistent with the rest of the neighborhood, is errant. I believe Mr. Hanna went to "all the trouble" of making changes and restrictions recommended to him by the City staff only so that he can try and push thru his project, which serves only his interests, and none of the interests of the rest of the community.

It would serve the community best if this parcel was open space or a park, especially due to the long and narrow configuration of this parcel and because it is adjacent to Strickland Park. People in the neighborhood have approached Mr. Hanna to sell it to us for open space or a park in order to maintain the integrity of the neighborhood. He is not at all open to even such a discussion. It is, therefore, false that Mr. Hanna is open to the requests and concerns of the neighborhood.

As the General Plan stands at this time, I believe that rezoning this parcel to RO would be "spot zoning" and should not be allowed. To rezone this lot from SF-9 to RO while it is completely surrounded by single-family residential lots is an unreasonable use of this land and would benefit only one individual, Mr. Hanna, at the expense of all his neighbors. To rezone this lot would be a major change of use in this older, well-established single-family residential neighborhood.

There are currently a multitude of office buildings for sale in the Prescott area, so it is incomprehensible to me why Mr. Hanna wants to ruin our neighborhood in order to build for himself an office building. My conjecture is that it is purely for profit. Why else would he take a single-family zoned lot and try to rezone it for an office building? Why would Mr. Hanna want to place an office building in a single-family residential neighborhood, except for his own personal gain at the expense of his neighbors?

To place an office building at the corner of Thumb Butte Road and Sherwood Drive would not maintain the character of the neighborhood, and instead, would be a detriment to the neighborhood, changing the neighborhood in a negative way. There are currently no business signs in the neighborhood, which would be allowed if this lot would be rezoned to RO.

Though the City Planning staff may consider that an office building has low impact as far as noise and traffic is concerned, it has a huge impact in destroying the integrity and quality of our neighborhood. Though it will profit Mr. Hanna, it will ruin our neighborhood and decrease the value of all our homes surrounding Mr. Hanna's proposed office building.

If Mr. Hanna does not believe that building a single-family home on a lot zoned for a single-family home in a residential neighborhood composed only of single-family homes is not the best use of the land, then he should not have purchased the lot. Again, the lot is NOT a "lot in transition," and building an office building is NOT the best use of the land.

Since Mr. Hanna is the current owner of the lot, it is possible for him to build an undesirable structure if he so desires, if approved by the City, even if such a structure would not be appreciated by his neighbors in the Hassayampa Golf Club subdivision.

In response to Mr. Hanna's statement that it is better to have "the devil you know than the devil that you do not know," I strongly state that I do not want any devil in my neighborhood. Perhaps this is very telling of Mr. Hanna's intentions. Also, it is not true that a Residential Office would create less traffic impact than a Home, as stated by Mr. Hanna. And I do not believe that Mr. Hanna has a sincere desire to insure that the neighbors have a say in what is built at 1711 Thumb Butte Road, as he stated, because hundreds of neighbors have clearly stated that they do not want an Office Building built at the corner of Thumb Butte Road and Sherwood Drive on a lot that is clearly zoned for single-family home.

Once again, as someone who will be directly impacted by Hanna's proposed rezoning and office building, I am imploring the Planning and Zoning Commission not to recommend a change in the General Plan and rezoning of the land from SF-9 to RO.

Sincerely,

Karen Klabacha
1703 Sherwood Drive
Prescott, Arizona

To the City of Prescott:

2 lcl

We, the neighbors to tax parcel # 108-06-031K, oppose rezoning parcel # 108-06-031K from Single Family Residential (SF-9) to Residential Office (RO). We do not want the possibility of an office building being built in our residential neighborhood.

Name Date Address Phone

- 112. Leona C Edensfield 02-22-09 2090 Meadowbrook Rd 928-541-9453
- ~~Richard H. ... 2/22/09 2090 Meadowbrook Rd 541-7453~~
- 113. Ray J. Boecker 2/23/09 2187 MEADOW BROOK RD. (928) 776-8734
- 114. Lo A. Boecker 2/23/09 2187 MEADOW BROOK RD. (928) 776-8734
- 115. Lonia L Day 2/23/09 2070 Meadowbrook Rd. 928-443-0539
- 116. Paul Wenzel 2/23/09 2063 meadowbrook Rd. 928-717-0709
- 117. Virginia Wenzel 2/23/09 2063 Meadowbrook Rd. 928 717 07 09
- 118. Brian Patten 2/27/09 1942 Forest Hills Rd 928-772-7659
- 119. Harry Patten 2/27/09 2042 Meadowbrook R 928-445-8264
- 120. Roger A. REID 3/26/09 130 S. Horizon Cir 928-237-1790
- 121. Burton S. Oliver 3/26/09 1821 Thumb Butte Rd. 928 499 8099
- 122. ~~...~~ Tricia K. ... 3/26/09 1985 THUMB BUTTE RD 928-541-9330
- 123. Jane Troyer 3/26/09 105 Butte Canyon 928-708-0217
- 124. Melody McConaughey 3/26/09 2314 Thumb Butte 928-541-7632

To the City of Prescott:

We, the neighbors to tax parcel # 108-06-031K, oppose rezoning parcel # 108-06-031K from Single Family Residential (SF-9) to Residential Office (RO). We do not want the possibility of an office building being built in our residential neighborhood.

Name	Date	Address	Phone
125 Elizabeth Jagguez	3/8/09	1920 Foothill Dr. Prescott, AZ	928- 717-1391
126 Susan Greene	3/8/09	1916 Foothill Dr Prescott, AZ	928-778-6891
127. Marianne Church	3/9/09	206 Sherwood Prescott, AZ	928-445-6975
128. Barbara Rowley	3/9/09	839 Bertrand	928-445-1196
129. Vera Newton	3-11-09	1935 Foothill Dr	776-4250
130. Barbara Kutzfeldt Jr.	3-11-09	1911 Foothill Dr	928-778-2001
131. Jane M Kutzfeldt	3-11-09	1911 Foothill Dr.	928-778-2001
132. William H. Kinison	3/26/09	1745 Forest Meadows	928-771-2064
133. Wayne Howell	3/28/09	1606 Elwood Ln	928-445-2030
134. Rosemarie Shyff	3-28-09	1608 Sherwood Dr.	928-776-9080
135. Norma Lewis	3/28/09	1606 Sherwood Dr	928-445-4497
136. Denise W. Roney	3-28-09	1810 Thumb Butte Rd	928-445-1803
137. Mary James	3-28-09	1805 Thumb Butte	928-445-1996
138. Floya James	3-28-09	1805 Thumb Butte	928-445-1996
139. Bill	3-28-09	2270 THUMB BUTTE	928-778-0778

To the City of Prescott:

We, the neighbors to tax parcel # 108-06-031K, oppose rezoning parcel # 108-06-031K from Single Family Residential (SF-9) to Residential Office (RO). We do not want the possibility of an office building being built in our residential neighborhood.

Name	Date	Address	Phone
140. <u>Helma Cade</u>	<u>3/6/09</u>	<u>1931 Foothill Dr</u>	<u>445-0162</u>
141. <u>Letta Sherman</u>	<u>3/6/09</u>	<u>1927 Foothill Dr</u>	<u>445 2196</u>
142. <u>Y. Duplicata</u> <u>White FARMER</u>		<u>1970 Mountain Blvd</u>	<u>86323</u>
143. <u>Donny</u>	<u>3-7-09</u>	<u>1911 Foothill Dr</u>	<u>776-7207</u>
144. <u>Jill KILSON</u>		<u>1915 Foothill Dr.</u>	<u>4450817</u>
145. <u>Clare Wessner</u>	<u>3/6-09</u>	<u>1918 Foothill Dr.</u>	<u>717-2028</u>
146. <u>Lynne Walters</u>	<u>3-7-09</u>	<u>1908 Foothill Dr</u>	<u>642-8062</u>
147. <u>William R Landis</u>	<u>3-7-09</u>	<u>1912 Foothill Dr</u>	<u>776-7207</u>
148. <u>Betty Alice Landis</u>	<u>3-7-09</u>	<u>1912 Foothill Dr</u>	<u>776 7207</u>
149. <u>Kenneth Smith</u>	<u>3-7-09</u>	<u>1928 Foothill Dr.</u>	<u>445-5656</u>
150. <u>Leshi Frank</u>	<u>3-7-09</u>	<u>1928 Foothill Dr.</u>	<u>445-5656</u>
151. <u>Ray</u>		<u>1932 Foothill Dr</u>	<u>776.0566</u>
152. <u>Jim Harris</u>	<u>3-7-09</u>	<u>1932 Foothill Dr.</u>	<u>776-0566</u>
153. <u>Joyce Kimmerly</u>	<u>3-7-09</u>	<u>1936 Foothill Dr.</u>	<u>778-2132</u>
154. <u>Barbara Carroll</u>	<u>3-7-09</u>	<u>1941 Rocky Dells</u>	<u>445-1396</u>

To the City of Prescott:

We, the neighbors to tax parcel # 108-06-031K, oppose rezoning parcel # 108-06-031K from Single Family Residential (SF-9) to Residential Office (RO). We do not want the possibility of an office building being built in our residential neighborhood.

	Name	Date	Address	Phone
155	Patricia Robison Patricia Robison	3/29/09	1877 Foothill Dr	778-6554
156	Eleanor Brighton Eleanor Brighton	3/29/09	1555 Foothill	591-6625
157	Andrea E. McShane Andrea E. McShane	3/29/09	1833 Foothill Dr.	445-4013 #778-4156
158	Paul D. Williams	3/29/09	123 Butte Canyon	off 445-9378
159	Gay Lee Larson	3/29/09	1922 Thumb Butte Road	708-0873
160	Amie McLean Amie McLean	3/29/09	1918 Rocky Dells Dr	277-5437
161	H. Louisa Vedovela	3/29/09	1919 THUMB BUTTE RD.	771-0347
162	Pat Walsh	3/29/09	1915 Thumb Butte	776-4070
163	Nehorah Walsh	3/29/09	1915 Thumb Butte	776 4070
164	Jaime A. Esch	3/29/09	1920 Rocky Dells Dr	(928) 330 0052
165	Jaime A. Esch	3/29/09	1920 Rocky Dells Dr	(805) 354 8040
166	Claudia A. Alamy	3/29/09	1827 Thumb Butte Rd	928-445-7503
167	Claudia A. Alamy	3/29/09	1827 Thumb Butte Rd	928-445-7503

To the City of Prescott:

We, the neighbors to tax parcel # 108-06-031K, oppose rezoning parcel # 108-06-031K from Single Family Residential (SF-9) to Residential Office (RO). We do not want the possibility of an office building being built in our residential neighborhood.

Name JARYOCK Date Address Phone

168. Paul Shepard 3-28-09 2280 T.B. RD 440-4065

169. Rhonda James 3.28.09 2180 Thumb Butte Rd 776-1657

170. Bordella R Bancroft 3/28/09 2040 Thumb Butte Rd 445-9278

171. Wileen Lettue 3/28/09 1955 Thumb Butte Rd 778-3823

172. Dixie Rudolph 3/28/09 1985 Thumb Butte Rd 273-1419

173. Wileen Lettue 3/28/09 1955 Thumb Butte 778-4823

174. Wileen Lettue 3/28/09 1922 Rocky Dells Dr 778-6831

175. Wileen Lettue 3/28/09 106 Butte Cyn Dr 533-0384

176. Wileen Lettue 3/28/09 109 Butte Canyon 8996472

177. Jay Ray 3/29/09 1890 Foot Hill 530-318-8446

178. Bob Robinson 3/29/09 1877 Foot Hill 928-778-6554

179. Brenda Howard 3/29/09 1880 Foot Hill 928-277-6002

180. Wileen Lettue 3/29/09 125 BUTTE CYN. DR 928-778-6036

182. Barbara Beck 3/29/09 1934 Thumb Butte 928-317-0731

183. Elizabeth Powers 3/29/09 1915 Rocky Dells Dr 928-776-1

SUP09-001

**105 S. MONTEZUMA
Special Use Permit**

Agenda # 7

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
STAFF REPORT
4/9/09 (Public Hearing)

TO: Planning Commission Members
FROM: Tom Guice, Community Development Director *TG*
George Worley, Assistant Director
Mike Bacon, Community Planner *MB*
DATE: 3/30/09

Subject: SP09-001 - Special Use Permit
Parcels: 109-01-021A (±4,500 sq. ft) **Zoning:** DTB
Location: 105 South Cortez. Street
Applicant: Otwell Associates Architects, 121 East Goodwin Street, Prescott, AZ 86303.
Owner: TIS Holdings LLC, c/o Quinton Lindsmith, 100 South Third Street, Columbus, Ohio, 43215

REQUEST. Request for a Special Use Permit to install a 20-foot tall flagpole on the rooftop of the Knights of Pythias building, and which will extend above the maximum 50' height allowed in the DTB zoning district.

The flagpole will be installed 3' to 5' back of the parapet, centered from north to south on the roof, and will rise ±18'-3" above the height of the parapet of the ± 55'-4" inch tall building for a total height of ± 73'-6" above grade. The flagpole will be cast aluminum, medium or dark bronze in color, and electronic so the flag is raised, lowered and stored automatically at sunrise and dusk. No lighting of the flag will then be needed at night.

Prior Council SUP Approvals of Height Increases in the Downtown Area

2007, July. SUP07-002. Approved an overall building height of 55'-0" (including a 1' high parapet) along the rear of the proposed multi-use building at 202 S. Montezuma.

2004, Aug. SUP04-001. Approved an increase in the building height for the Granite Street Parking Garage in 2004 to a height of 68' to account for the 5th level parking level parapet wall (8' above the parking level surface which is 50' above ground level) and the elevator shaft enclosure (18' above the 5th level surface).

2004, Jan SUP 03-006. Approved a 58-foot high mixed-use commercial/residential building (McCormick Place) in order to allow the use of prefabricated components over site-built components. Two issues prevented the site grade from being lowered to allow the building to meet the 50-foot height limit: the 100-year Flood Hazard Zone and the Floodway of Granite Creek; and, second, an adjoining building foundation (the Dinner Bell) which had to be preserved and protected during construction.

STAFF ANALYSIS

Existing Conditions. The Knights of Pythias Building was built in 1892-94 and is a survivor of the Fire of 1900. It is a contributor to the Courthouse Plaza Historic District and is listed in the National Register of Historic Places (1978) as a significant example of Territorial Architecture in Prescott. Good historic photographs exist of the building—one of which is attached. The building is undergoing extensive restoration and renovation with the 'Tis retail shop and art gallery expecting to open sometime in May.

Land Development Code Criteria for Special Use Permits

Staff comments are in *italics* following the LDC section.

Sec 4.9.3.E Height (Downtown Business District)

Notwithstanding other provisions to the contrary, building height up to 100 feet may be allowed subject to the approval of a Special Use Permit pursuant to Sec. 9.9. Issues to be considered as part of such reviews shall include:

1. Compatibility of the size and scale of the proposed structure with other like structures in the vicinity where such structures are substantially in compliance with this LDC. *The flagpole is compatible with other existing building flagpoles located in the downtown area..*
2. Topography of the site and vicinity -- the Community Development Director shall determine the site area to be displayed. *(See attached building elevations).*
3. Effect on the viewshed from surrounding areas. *Adjoining properties will not be significantly impacted.*
4. Fire and public safety considerations. *All are addressed through the Building Permit process.*
5. Adequacy of parking to serve the proposed structure. *Not applicable.*
6. Effect on the streetscape, including but not limited to, proposed setbacks and landscaping. *All are addressed through the Building Permit process and also by the current approval of the Prescott Preservation Commission.*

Section 9.9.5 / Special Use Review Criteria

The City Council may approve an application for a special use where it reasonably determines that there will be no significant negative impact upon residents of surrounding property or upon the public. The City Council shall consider the following criteria in its review:

A. Effect on Environment

The location, size, design, and operation characteristics of the proposed use shall not be detrimental to the health, welfare, and safety of the surrounding neighborhood or its occupants, nor be substantially or permanently injurious to neighboring property.

There are no detriments. There are other existing flagpoles in the downtown area—the most notable being on top of the Palace Restaurant.

B. Compatible with Surrounding Area

The proposed site plan, circulation plan, and schematic architectural designs shall be harmonious with the character of the surrounding area with relationship to scale, height, landscaping and screening, lot coverage, and density. *The proposed use will be compatible with the commercial fabric of the downtown business district. There are no building setbacks in the DTB zoning district.*

C. External Impacts Minimized

The proposed use shall not have negative impacts on existing uses in the area and in the City through the creation of noise, glare, fumes, dust, smoke, vibration, fire hazard, or other injurious or noxious impact. The applicant shall provide adequate mitigation responses to these impacts. *None.*

D. Infrastructure Impacts Minimized

The proposed use shall not have negative impacts on existing uses in the area and in the City through impacts on public infrastructure such as roads, parking facilities and water and sewer systems, and on public services such as police and fire protection and solid waste collection, and the ability of existing infrastructure and services to provide services adequately. *None.*

E. Consistent with General Plan and Code

The proposed use will be consistent with the purposes of this LDC, the General Plan, Area Plans, and any other statutes, ordinances or policies that may be applicable, and will support rather than interfere with the uses permitted outright in the zone in which it is located.

General Plan and Land Development Code Consistency. *This commercial project is consistent with the 2003 General Plan Land Use Map which designates the project area "Commercial." (p36). The project is also consistent with the Land Development Code.*

Conformance with the Prescott Historic Preservation Master Plan

The property is located within the boundaries of the Courthouse Plaza Historic Preservation District (#1). The HPD takes precedence over the requirements of the City of Prescott Land Development Code. Improvements requiring a Building Permit are required to be reviewed and approved by the Prescott Preservation Commission. The project was reviewed by the Prescott Preservation Commission and approved by a vote of 5:0 at its meeting on February 13, 2009 as being in compliance with the City of Prescott Historic Preservation Master Plan and the provisions of Chapter 8, Courthouse Plaza Historic District.

F. Parcel Size

The proposed use may be required to have additional land area, in excess of the minimum lot area otherwise required by the underlying zoning district, as necessary to ensure adequate mitigation of impacts on surrounding land uses and the zoning district. *No additional land is required.*

G. Site Plan

The proposed use shall comply with the procedures and requirements of Sec. 9.8, Site Plan Review. *This is addressed through the Building Permit Process.*

Recommended Action: Move to recommend approval of the Special Use Permit for 105 S. Cortez Street–SUP09-001–to allow the 20' flagpole on the rooftop of the Knights of Pythias building.

OTWELL
ASSOCIATES
ARCHITECTS

1.26.2009

City of Prescott
201 S. Cortez
Prescott, Arizona 86303

Re: Special Use Permit

To Whom It May Concern,

The Owners of the Knights of Pythias building located at 105 South Cortez Street would like to add a flagpole to the top on their building. A flagpole at this location can be dated back to the early 1900's (see photo).

As you know this building has been undergoing a major remodel which includes stabilization of existing exterior walls, addition of Code compliant Fire Sprinklers and exiting along with the addition of spaces and HVAC systems that will make it functional both as an art gallery and rental property.

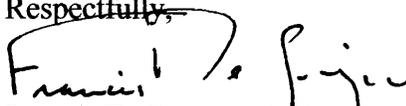
As the building has progressed the Owners are fine tuning the appearance and feel the addition of a flagpole on this historically significant building would be appropriate. The Current Building Code for the Downtown Business District limits building heights to fifty feet (50'). It also considers a flagpole as an extension to the building. If a flagpole is permitted this would bring the height to approximately seventy-three feet six inches (73'-6") and thereby require a Special Use Permit. We are requesting approval from the City of Prescott to grant this Special Use Permit.

Currently the idea is being presented to the Prescott Historical Commission for their approval at the February 13th meeting as the first step in the process prior to going to Planning and Zoning and then onto the City Council for their approval.

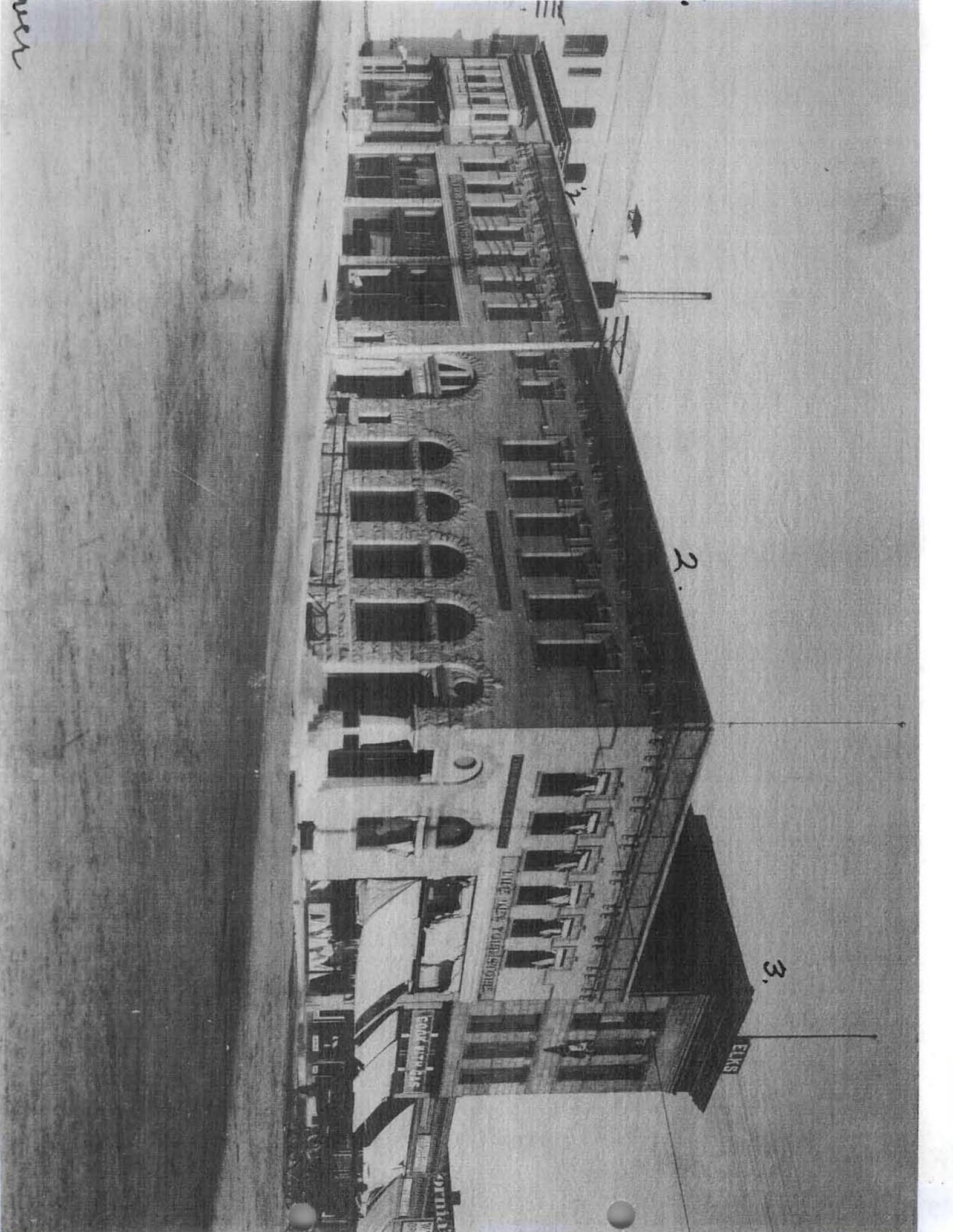
We are submitting along with this letter drawings and renderings to help visually show and explain what the final product will look like.

Thank you for your time and consideration on this matter. Please feel free to contact me should you have any questions.

Respectfully,


Francis DeGrazia – Architect
Otwell Associates Architects

WV



2.

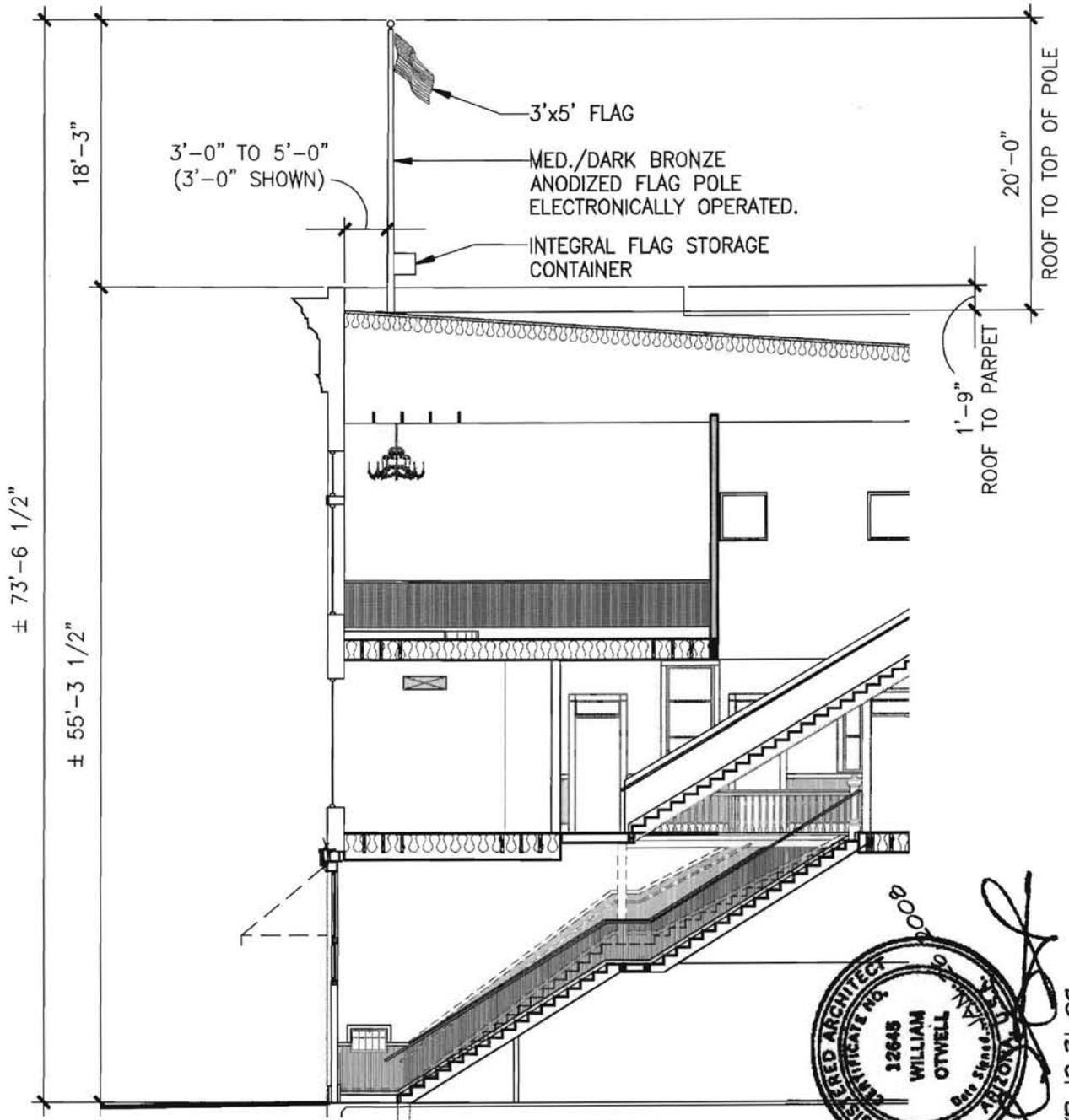
3.

ELKS

PORT NEW DIS

THE NEW YORK STORE

STREET



EXP. 12-31-09

PARTIAL SECTION "A"

3/32"=1'-0"

	<p>KNIGHTS OF PYTHIAS ROOF MTD. FLAG POLE</p>	DATE: 1/26/09	DWG NO.
		DWG BY: BMP	<p>F2</p> <p>OF</p>
		JOB NO.: 0738	
		REVISIONS:	
<p>121 East Goodwin Street, Prescott, Arizona 86303 (928) 445-4961</p>			



WEST ELEVATION

3/32" = 1'-0"

 <p>121 East Goodwin Street, Prescott, Arizona 86303 (928) 446-4961</p>	<p>KNIGHTS OF PYTHIAS ROOF MTD. FLAG POLE</p>	DATE: 1/26/09	DWG NO.
		DWG BY: BMP	<p>F1</p> <p>OF</p>
		JOB NO.: 0738	
		REVISIONS:	



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KENTON, OHIO 43326**

RZ09-004
PP09-002

Rezoning from SF-35 to SF-18
The Homestead Preliminary Plat

Agenda # 9

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
STAFF REPORT
4/9/09 (Public Meeting)

TO: Planning Commission Members
FROM: Tom Guice, Community Development Director - *TAG*
George Worley, Assistant Director
Mike Bacon, Community Planner *MB*
DATE: 3/30/09
Subject: RZ09-004 (formerly RZ06-003)
PP09-002 (formerly SP06-003)–The Homestead Preliminary Plat, is the associated case) .
Parcels: 110-06-005Z, 005R, 005Q, 006A (±18.81± acres) **Zoning:** SF-35
Location: East of Senator Highway and west of Summer Field

Agent/ Applicant: Carl Tenney, 2191 N. Val Vista Dr, Chino Valley AZ 86323.

Owners: Jeannie Brown and Harold O. Tenney, 677 Nathan Lane, Prescott, AZ 86303.

REQUEST. Rezone ±18.81± acres from Single-Family 35,000 sq. ft minimum lot size (SF-35) to Single-Family 18,000 sq. ft minimum lot size.(SF-18) with an associated request for a 36-lot preliminary plat (PP09-002) on ±19.56 acres. Lots 14 and 15 of the proposed plat do not have to be rezoned because they are currently zoned SF-12. This accounts for the slightly different acreage totals between the plat and the rezoning requests. Phase I consists of Lots 1-12 and Phase II contains Lots 13-36. The applicant has submitted a letter describing his request (attached). A Water Service Agreement for 12.6 acre feet of water (to be approved by Council) is also proposed for the plat.

Development Agreement. The applicant is proposing a Development Agreement (to be reviewed and approved by Council) in which he agrees to provide at his expense several new features to Acker Park, a new turning lane on Nation Lane at its intersection with Senator Highway, and Phase II construction not to commence until after the Senator Highway improvements are completed.

Background. Both of these requests were approved by the Commission by a vote of 4:3 in 2006. Council took these cases off of their agenda until the Southside Traffic Circulation Enhancement Study was completed. This study is now completed and the requests are placed back on track for review.

The plat has not changed from its 2006 submission, but because of possible code changes in the last 3 years, Staff has re-reviewed the projects with the current codes, given them new case numbers, re-noticed the project to surrounding area residents, reposted the property, and submitted these requests for Commission for re-view and a new

recommendation to Council. The project will also be re-reviewed by the Water Allocation Committee prior to the Council meeting.

Preliminary Plat Project Information

Number Of Lots: 36	Parcel Size: ±19.56 acres
Minimum Lot Size: 18,000 sq. ft	Average Lot Size 19,412 sq. ft.
Maximum Lot Size: 29,796 sq. ft.	Proposed Density: 1.91± units/ac

Area Meeting

The area meeting held On March 26th 2009 was attended by 14 area residents with all but one couple from the Foothills subdivision. A few residents expressed the primary concern of sight-distance issues for vehicles along Nathan Lane and for homes entering and existing homes along the street.

Opposition and Support

There was significant opposition to the same project in 2006. Staff has not received any calls or correspondence in favor or opposed to the project in 2009.

PREVIOUS CITY COUNCIL AND COMMISSION ACTIONS IN THE VICINITY

- 2003. RZ0215 (rezone from SF-35 to SF-18) This rezone on 34.81 acres adjoining the proposed Homestead subdivision was withdrawn by the applicant (Crystal Creek Homes) and was submitted in conjunction with SP-0210.
- 2003. SP-0210 - Summit Point East PAD Preliminary Plat. This plat for 64 lots on these same 33.97 acres were considered by the Planning Commission in 2003 and was later changed into SP03-009.
- 2003. SP03-009 - Summit Point East PAD Preliminary Plat. This plat by Crystal Creek Homes, Inc. proposed 38 lots on the same 33.97 acres but utilizes the existing underlying zoning of SF-35.
- 2003, Nov. Annexation (ANX 0202) of 34.81 acres with rezoning to SF-35 immediately south of the proposed Summit Point East PAD alongside Senator Highway and adjoining the proposed Homestead preliminary plat to the southwest, was turned down in 2003 by City Council.

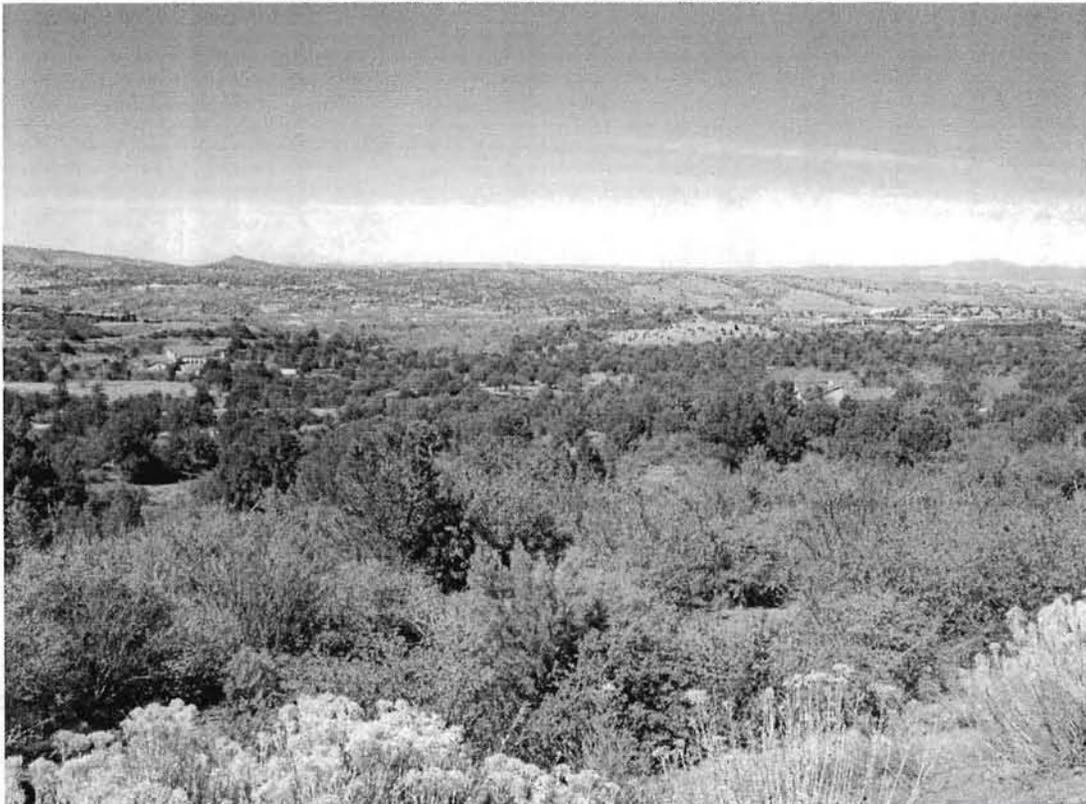
Evidence in the above files reveals opposition to these applications. Residents of the South Mt. Vernon neighborhood, the Summit Point Owners Association, and others wrote that the increased traffic resulting from the rezoning was inappropriate until an alternate by-pass road is constructed, and that an alternative secondary emergency evacuation is needed to the north. Although Senator Highway/South Mt. Vernon Street is designated an arterial, it is only 2 travel lanes in width.

- 2005. FP05-020 - Summit Point East PAD Final Plat was approved for only 36 lots (not the 38 as proposed in the preliminary plat) on 33.97 acres within the existing SF-35 zoning within the existing City Limits in 2005 instead of the former 64 lots (which would have also incorporated County Land).
- 2006. RZ06-003 and SP06-003. This rezoning and the Homestead Preliminary Plat were taken off the Council agenda until the Southside Traffic Circulation Enhancement Study was completed.

Photo 1: View to Northwest from Nathan Drive



Photo 2: View to North from Nathan Drive



STAFF ANALYSIS

Existing Conditions. The site is vacant except for 2 existing homes which will be incorporated within the development. Existing vegetation consists of native grasses, scrub oak, and junipers on slopes less than 20%.

General Plan Consistency. The project is *consistent* with the 2003 General Plan Land Use Map which designates the plat project area as Low Density (1-7 DUA) Residential. Applicable 2003 Prescott General Plan Polices include:

- "Goal 1. Maintain the integrity and character of existing neighborhoods." (p36).
- "Goal 6. Encourage more compact development..." (p39).

Land Use Compatibility

The proposed SF-18 rezoning provides an acceptable and reasonable transition zoning district from SF-12 to SF-35. It will provide 16 additional homes over the allowed 19 homes permitted in the existing underlying zoning of SF-35.

<u>Direction</u>	<u>Zoning</u>	<u>Land Use</u>
North:	SF-9	Church, cemetery, former drive-in theater
South:	2 acre min	Yavapai County, Single-family, vacant
East:	SF-12	Single-family - Foothills Planned Area Development Plat
West:	SF-35	Single-family - Summit Point Estates Planned Area

Adjoining the proposed Homestead Plat on the west are 30 lots of the Summit Point Estates Planned Area Development (PAD) subdivision. Overall this subdivision has 36 lots which average 24,562 sq. ft in size with the smallest at 15,115 sq. ft., and the largest being 110,456 sq. ft. Thirty (30) of these lots are located east of Senator Highway due to steep slopes (over 20%) located west of Senator Highway. The other 6 lots of this subdivision are located west of Senator Highway. A PAD allows special creativity and design when the required open space. Density may be transferred to another area of the development site by reducing lot sizes, but the *overall* density permitted within the underlying zoning (in this case SF-35) *is maintained*.

The applicant indicates that the proposed lot sizes of the Homestead will be compatible with both the Foothills and Summit Point Estates.

Street Access and Circulation. The project will have access from the west via Senator Highway via Nathan Lane, from Grand Valley Pointe in the proposed Summit Point Estates; and from the east via City Lights and Summer Field in the Foothills subdivision. The existing or proposed street network has not changed from the earlier rezoning request (SF-35 to SF-18) by Crystal Creek Development.

Traffic Engineer. This development does not have a major impact on Senator Highway or any other roadway network. The Southside Traffic Circulation Enhancement Study (SSTCES) does not result in any concrete solution to the long term (2030) traffic issues in the area. The Tenney development is not the cause of these huge volumes (only as a small contributor), and it is the City Traffic Engineer's opinion that the developers would

not be required to complete either a TIA or Technical Memorandum. The future Senator Highway improvement project will provide for the improvement of the intersection of Senator Highway and Haisley and includes left turns pockets for north and southbound.

WATER ALLOCATION COMMITTEE MEETING. The Committee voted 3:0 on August 8, 2006 to recommend Council approve water for this project. The Committee will re-review this project prior to the Council review.

STAFF RECOMMENDATION

Staff has received late word that the applicant will be slightly revising his preliminary plat to accommodate neighborhood concerns on sight visibility along Nathan Lane.

This revision will include extending Tenney Lane and Teeples Drive further south to provide access to Lots 9-12 (and eliminate access to Nathan Lane for these lots) and possible revisions to the Lots 2 and 3. This revised preliminary plat has not yet been submitted for review by Staff. In order to allow time to complete the Staff review, the applicant wishes to continue the public hearing for the Rezone until April 30, 2009.

Recommended Action:

1. Move to Continue RZ09-004; and
2. Move to Continue PP09-002–The Homestead Preliminary Plat to April 30, 2009.

AGENCY PRELIMINARY PLAT COMMENTS

Addressing. Paul Greenlee 777.1306

1. Because there is an existing residence to the West (663 Nathan Ln.) of this development and because Nathan Lane currently originates from the West at S. Senator Highway, the applicant will need to reconfigure where the streets Nathan Lane and City Lights intersect. Either the cul-de-sac will need to have a different street name or they will need to make Nathan Lane dead end into the proposed cul-de-sac thus creating a defined intersection with City Lights at that spot. A new street name request form will need to be submitted for approval if the applicant will be requiring an additional new street name.
2. Within the new subdivision, Summer Field Dr. will not be allowed to change its name to Tenny Ln. It is confusing to have a contiguous street change its name at this type of location.

Engineering. Dick Mastin (777.1273)

Fire. Dave Mecca (777.1717)

1. Cul-de-sac shall have a 50 foot inside turning radius. See fire department detail.
2. Hydrant layout shall follow previous layout.

Historic Preservation Specialist: Nancy Burgess (777.1318)

All required archaeological reports have been submitted and reviewed for this project. Cleared archaeologically for development.

Parks and Recreation.

Planning. Mike Bacon (777.1360).

1. Abandon well on Lot 35 prior to recordation of the Final Map.
2. Provide and label 9-foot sideyard setbacks for the existing home on Lot 22 on the Final Plat.
3. Remove existing portion of the home on Lot 11 prior to recordation of the Final Map.
4. Rezone #06-003 will have to be approved in conjunction with this preliminary plat request.
5. Redesign Lot 6 to meet Land Development Code setbacks requirements.
6. Lots 1, 2, and 22 are double frontage lots which will have front yards on both streets, and are to be noted on the Final Plat as such.
7. Provide the cost estimates for the parking and other Acker Park improvements.
8. A new Water Service Agreement is needed with review and approval by the Water Service Committee.

Public Works. John Lambert (777.1130)

There are many unknown issues and items that must be identified/addressed along with preliminary reports for the adequacy of both the existing and proposed drainage, sewer & water. See COP Land Development Code section 9.10.9 for information needed and required for a complete submittal. In order for Engineering and P.W's to complete a Pre-Plat review, most items listed in Sec. 9.10.9 are needed, please call if you have any questions.

Yavapai County Engineering. Tim Stotler. The County recommends reviewing the possible need for left-turn lane on Senator Highway due to the additional traffic turning onto Nathan Lane.

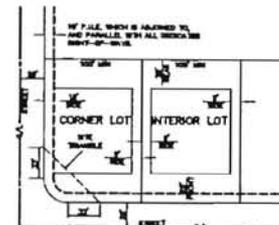
Yavapai County Flood. Jeff Low. Future grading and improvement plans should detail that historical drainage patterns are maintained at property boundaries

CURVE	LENGTH	RADIUS	CHORD	CHORD DIRECTION	CHORD LENGTH
C1	51.65	80.00	100.00	N89°00'00"W	50.00
C2	50.37	80.00	100.00	S89°25'00"E	48.90
C3	133.83	150.00	300.00	S88°18'31"W	150.34
C4	78.93	100.00	100.00	S88°23'00"E	74.11
C5	78.56	100.00	100.00	S73°00'00"E	74.70
C6	78.56	100.00	100.00	S88°33'54"W	74.70
C7	50.15	117.00	117.00	N78°33'33"E	48.77
C8	103.19	125.00	250.00	S88°18'31"W	123.29
C9	43.73	25.00	50.00	S89°00'00"E	38.38
C10	23.14	35.00	57.43	S74°31'34"E	22.73
C11	73.18	85.00	100.00	N68°08'08"W	70.84
C12	75.03	25.00	50.00	S88°15'00"E	71.11
C13	7.77	50.00	100.00	N87°00'00"E	7.78
C14	48.92	80.00	100.00	N67°07'18"W	44.32
C15	74.34	90.00	111.47	N11°47'01"E	87.88
C16	48.08	80.00	100.00	N81°58'31"E	44.28
C17	50.38	90.00	111.47	N81°58'31"E	48.28
C18	14.72	90.00	100.00	S64°22'37"E	14.88
C19	21.03	25.00	50.00	N40°07'42"W	20.41
C20	30.13	35.00	70.00	N88°46'00"E	28.21
C21	48.94	85.00	100.00	N88°46'00"E	46.02
C22	38.87	25.00	50.00	S88°10'08"E	36.07
C23	55.83	75.00	100.00	N68°33'00"E	54.38
C24	82.88	175.00	350.00	S88°10'08"E	81.83
C25	81.79	175.00	350.00	S81°00'00"E	81.48
C26	47.84	50.00	100.00	N81°33'38"E	45.88
C27	50.24	50.00	100.00	N81°33'38"E	48.18
C28	72.83	75.00	100.00	S88°23'00"E	68.41
C29	21.03	25.00	50.00	N68°33'38"E	20.41
C30	21.03	25.00	50.00	S68°23'00"E	20.41
C31	70.88	90.00	111.47	N68°33'38"E	64.84
C32	38.13	25.00	50.00	S88°23'00"E	36.13
C33	48.77	82.00	100.00	N79°50'31"E	48.18
C34	40.42	25.00	50.00	N44°31'18"E	38.18
C35	87.42	75.00	100.00	S88°23'00"E	85.03
C36	33.42	75.00	100.00	S88°23'00"E	31.44
C37	24.00	75.00	100.00	S101°00'00"E	23.00
C38	15.86	25.00	50.00	S18°50'31"E	15.40
C39	5.37	25.00	50.00	S42°50'31"E	5.38
C40	111.40	100.00	100.00	N18°14'42"E	88.75
C41	48.73	50.00	100.00	S73°33'30"E	44.18
C42	84.00	90.00	111.47	S61°18'08"W	74.50
C43	21.03	25.00	50.00	N68°33'38"E	20.41
C44	37.26	25.00	50.00	S88°23'00"E	33.97
C45	41.19	25.00	50.00	N88°18'17"E	38.59
C46	74.08	125.00	250.00	S27°38'17"W	73.00
C47	85.70	125.00	250.00	S88°23'00"E	83.36
C48	21.81	125.00	250.00	S88°23'00"E	21.28
C49	84.30	125.00	250.00	S88°23'00"E	83.84

PRELIMINARY PLAT

THE HOMESTEAD SUBDIVISION

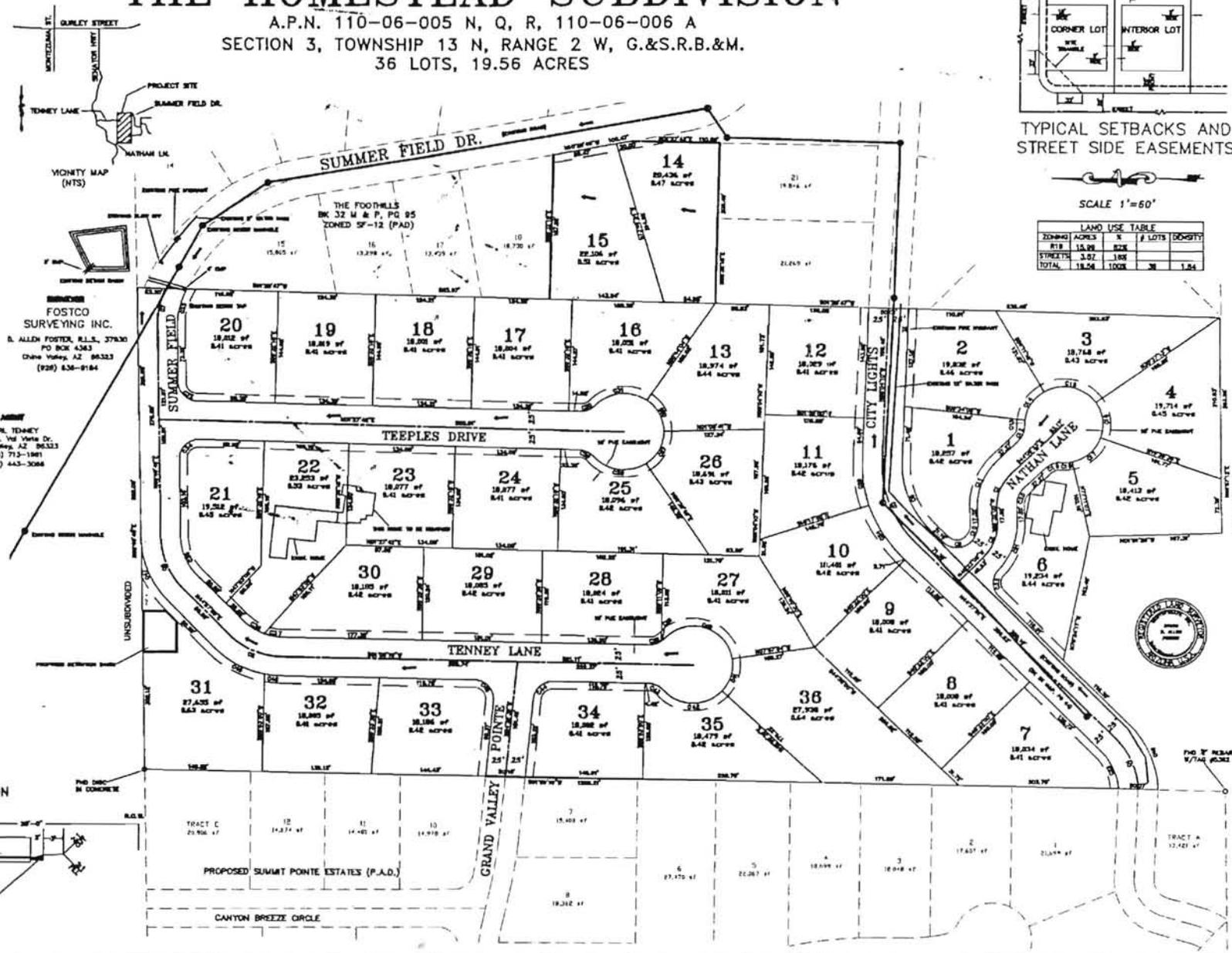
A.P.N. 110-06-005 N, Q, R, 110-06-006 A
 SECTION 3, TOWNSHIP 13 N, RANGE 2 W, G.&S.R.B.&M.
 36 LOTS, 19.56 ACRES



TYPICAL SETBACKS AND STREET SIDE EASEMENTS

SCALE 1"=60'

LAND USE TABLE			
ZONING	ACRES	%	# LOTS
R1B	18.28	93.5	36
STREETS	3.02	1.5	1.54
TOTAL	19.56	100%	36

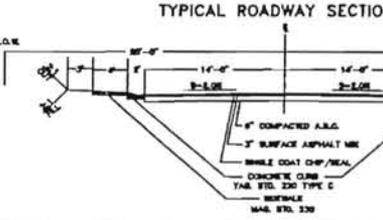


OWNER / DEVELOPER
 LEANNE TENNEY BROWN
 HAROLD & KATHRYN TENNEY
 TENNEY FIELD & LIVESTOCK CO.
 877 NATHAN LANE
 Prescott, Arizona 86303
 (928) 713-1981

ENGINEER
SUNDIAL ENGINEERING, INC.
 MARK J. ADAMS, P.E., 40202
 3000 MILLON CREEK RD.
 Prescott, Arizona 86303
 (928) 440-2464

AGENT
 CARL TENNEY
 2191 N. W. Valley Dr.
 Chino Valley, AZ 86333
 (928) 713-1981
 (928) 443-3084

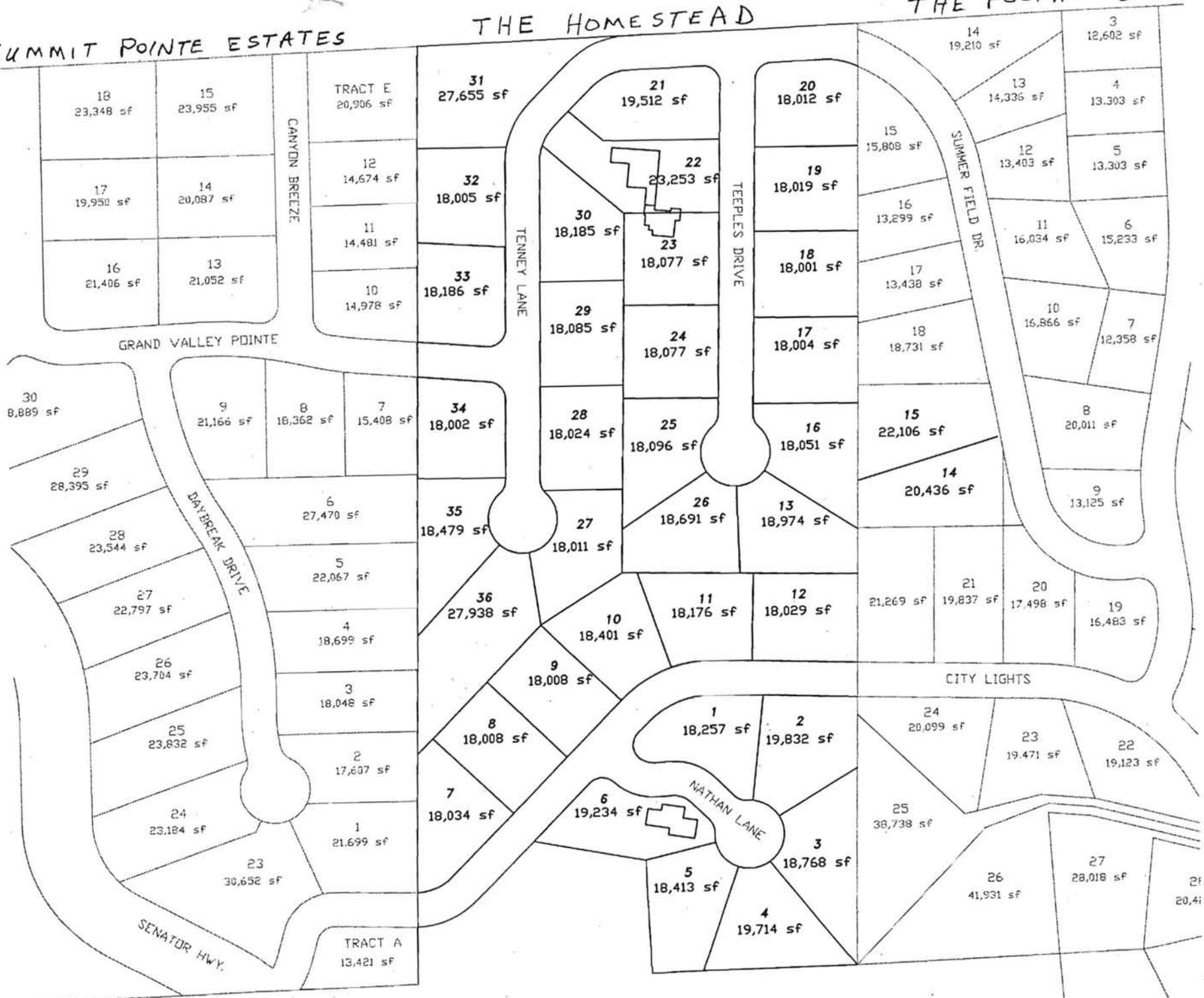
- NOTES**
- EXISTING ZONING SPDS.
 - CURVE PARCELS A.P.N. 110-06-005 N, Q, R, -006 A
 - REQUEST ZONING CHANGE TO BE SP18
 - UNDERGROUND UTILITIES SHALL BE PROVIDED BY:
 - GAS CITY OF PRESCOTT
 - ELECTRICITY APS
 - TELEPHONE CITY OF PRESCOTT
 - SEWER CITY OF PRESCOTT
 - WATER CITY OF PRESCOTT
 - CABLE TV CABLE ONE
 - GARAGE TO BE RESIDENTIAL CART SERVICE.
 - FIRE DISTRICT TO BE CITY OF PRESCOTT.
 - STREETS TO BE DEDICATED TO THE PUBLIC. TENNEY LANE & 1.062' & TEEPLES DRIVE & 5.591' SUMMER FIELD DR. & CITY LIGHTS ARE EXISTING ROADS.
 - WATER SERVICE AGREEMENT WITH THE CITY OF PRESCOTT HAS BEEN APPLIED FOR.
 - EXISTING SEWER LINE IS LOCATED IN CITY LIGHTS & SUMMER FIELD DRIVE.
 - EXISTING WATER AND GAS LINES ARE LOCATED IN CITY LIGHTS & SUMMER FIELD DRIVE.
 - EXISTING FIRE HYDRANT LOCATED ON CITY LIGHTS & SUMMER FIELD DRIVE.
 - 1.5' FAMILY HOME ONE T.
 - MIN. LOT SIZE 18,000 S.F.
 - 2. LOT SIZE 27,838 S.F.
 - AVERAGE LOT SIZE 19,413 S.F.
 - THERE SHALL BE ONE CONSTRUCTION PHASE.
 - LOTS TO BE MAINTAINED IN ITS NATURAL STATE OR BETTER OR FULLY LANDSCAPED.
 - REVISED ON JUNE 14, 2008.
 - BACKWATER DEVICES REQUIRED AT ALL RESIDENTIAL SEWER CONNECTIONS.



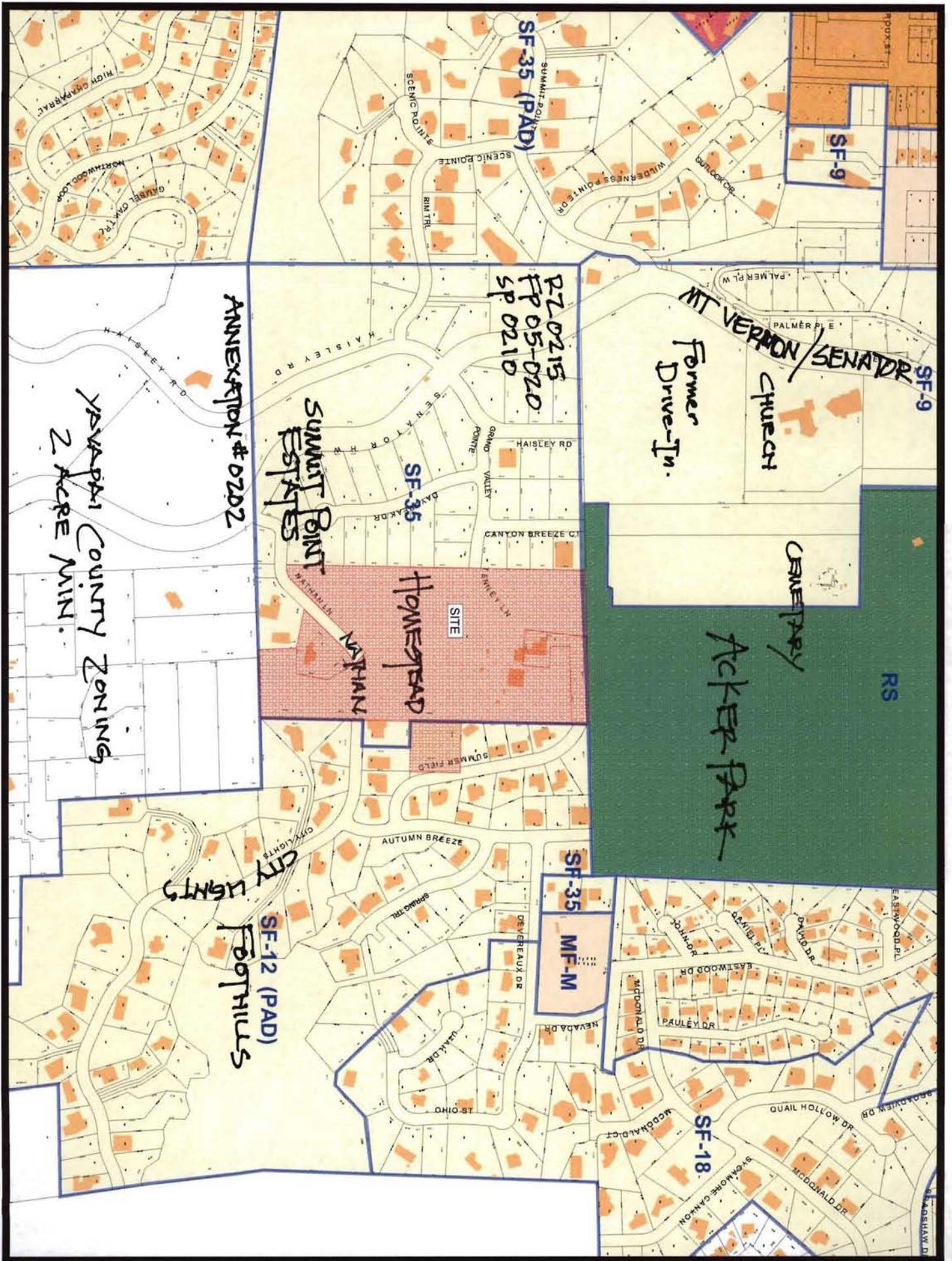
SUMMIT POINTE ESTATES

THE HOMESTEAD

THE FOOTHILLS



6-21-06



SF-35 (PAD)

SF-9

Former Drive-In Church
MT VERNON / SENATOR

ANNEXATION # 0202

YAVAPAI COUNTY ZONING
2 ACRE MIN.

SUMMIT POINT
ESTATES

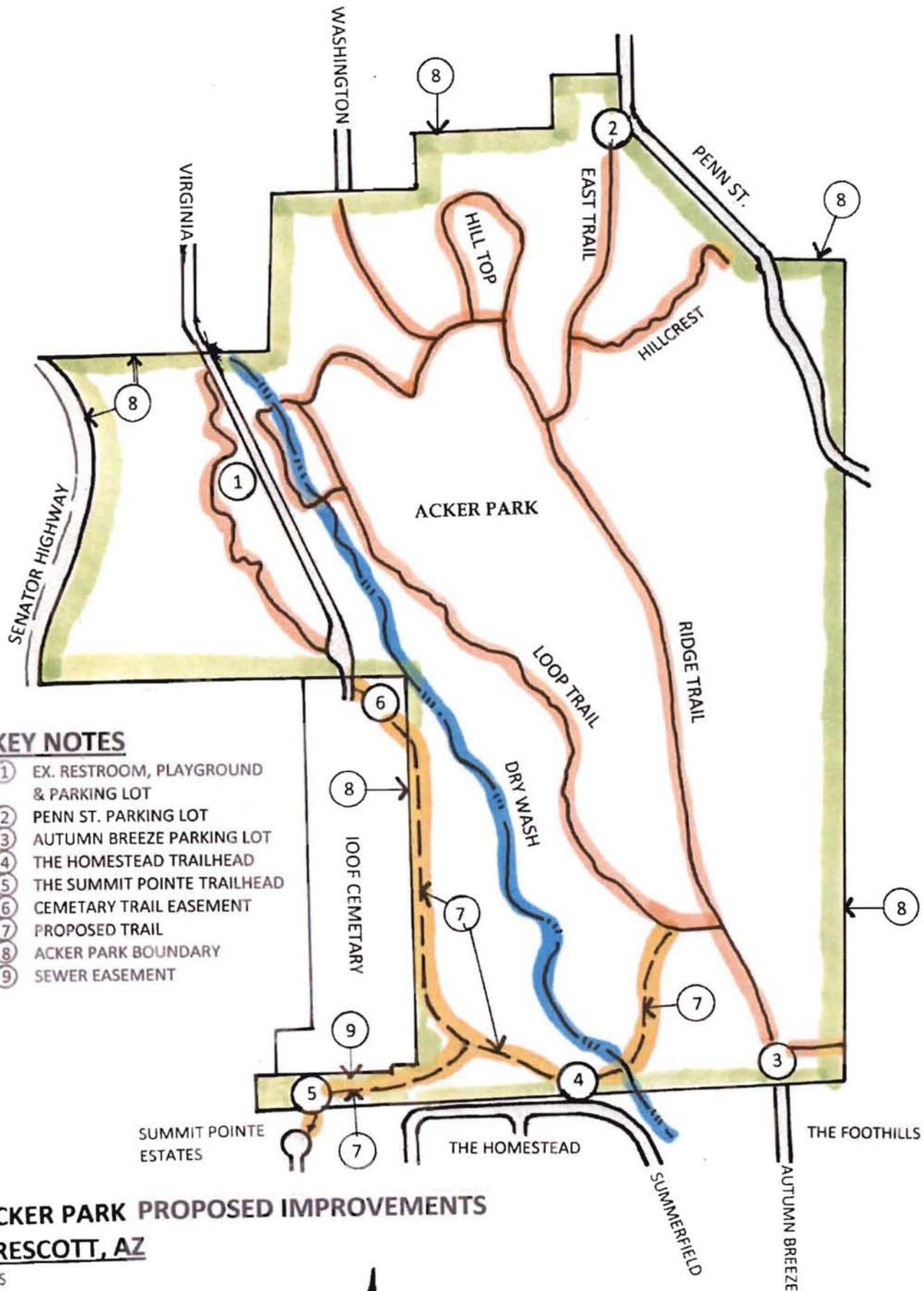
HOMESPREAD
SITE

ACKER PARK
CEMETERY

CITY LIGHTS
SF-12 (PAD)
FOOTHILLS

SF-35
MF-M

SF-18



**ACKER PARK PROPOSED IMPROVEMENTS
PRESCOTT, AZ**

NTS

DESIGNER: SMLA
DATE: JAN. 27, 2009

NORTH



Acker Park Proposed Improvements

SMLA design 1-27-09

Funding by the Tenney family

As Part of the development agreement for the Homestead Subdivision, this project is intended to enhance the existing amenities of Acker Park. The areas that will be treated are as follows:

Penn St. parking lot and East Trailhead – (#2 Keynote)

- Re-grade existing parking lot to control drainage
- Install drainage culvert under entrance road if COP requires
- Install sub-base and a finish gravel surface to meet COP standards

Autumn Breeze parking lot – (#3 Keynote)

- Re-grade existing parking lot to control drainage
- Install drainage culvert under entrance road if COP requires
- Install sub-base and a finish gravel surface to meet COP standards
- Install an 8' x 12' rusty metal shade structure near the Ridge Trailhead. This is based on the Classic Recreation Marana model. It would have a compacted gravel pad with a 6' long City standard picnic table
- Possible location of historical Kiosk covering the local history and honoring Boyd & Rachel Tenney's contributions to the Prescott Community

Tenney Trailhead at the Homestead – (#4 Keynote)

- This will be a pedestrian access point to South Acker Park and will require a new gate to be installed in the existing fence with signage for the new Cemetery trail
- Possible signage describing the Natural History of South Acker Park
- The new trail to the east will go across the improved spillway over the Dry Wash and up the slope at a 5% grade to meet the Loop Trail. Trail to match existing Acker Park trails in materials and size. Avoid disturbance of natural vegetation where possible
- Trail to the west will follow the Sewer Easement and provide park access to the Summit Pointe Estates development (#5) and close the loop trail to the main park facilities (#1).

Summit Pointe Estates trailhead – (#5 Keynote)

- This will be a pedestrian access point to South Acker Park for the Summit Pointe Estates development. It would originate at the cul-de-sac by the retention basin.
- Provide signage for the trailhead.

New Easement through the Cemetery (#6 Keynote)

- This needs to be arranged between the Cemetery owners and the City of Prescott. There currently is a well used path leading into the cemetery. This can be shifted to the far edge in order to allow a complete loop trail to be installed that connects the new Tenney Trailhead and Summit Pointe Estates Trailhead to the main park facilities (#1)

April 1, 2009

City of Prescott
Mayor Wilson and City Council
Planning & Zoning Commission
201 S. Cortez Street
Prescott, AZ 86303

Re: The Homestead Subdivision

Dear Mayor Wilson, Council Members and Commissioners,

As owners of Tenney Homestead, LLC, a family owned limited liability company, my siblings and I are renewing our petition for approval of our rezoning request and preliminary plat for our property located in South East Prescott, off Senator Highway. The property in question, known as the Homestead Subdivision, consists of three parcels totaling approximately 17 and ½ acres. It is presently owned by Tenney Homestead, LLC (2 parcels totaling approximately 16 ½ acres) and Jeanine Tenney Brown (a 1 acre parcel).

Our request is to rezone the property from the present SF 35 zoning to SF 18 zoning, to be more consistent with the neighborhood zoning and development. Our request is also to approve the Preliminary Plat calling for the development of 34 building lots in two Phases, with Phase One consisting of four lots (lots 1-4) and Phase Two consisting of 30 lots (lots 5-34). Finally, we are also requesting approval of an accompanying Development Agreement and Water Service Agreement.

We first petitioned for rezoning of this property in the Summer of 2006. The Planning & Zoning Commission approved our first rezoning request and preliminary plat submittal in July 2006. In August of 2006 we received a water allocation recommendation from the Water Committee. On August 29, 2006 we presented the rezoning request and preliminary plat to the City Council. After some discussion, at our request the matter was pulled from the agenda to await the completion of the Southside Traffic Circulation Study. The Study was completed and presented to the City Council in the Spring of 2008.

Since the Council did not vote on our original petition within the required 60 days, our request was deemed to be denied, and we are now starting over. We conducted a neighborhood meeting on March 26, 2009 as the first step in the new process. As a result of that meeting we have made modifications in the road alignment and lot orientations and configurations to better address the concerns of our neighbors.

This property is close to downtown, within walking distance of the Courthouse Square. It is an "infill" project, with development already occurring or completed on both sides of our property. Our south boundary is the city limits boundary. We are bordered on the

East by The Foothill Subdivision, on the West by Summit Pointe Estates, and on the North by the City's Acker Park.

This is one of the last properties that can be developed in South East Prescott. The only other parcel available for development is the Senator Drive In Theater property, immediately to our North West. The Drive In property is zoned SF 9. Other South East Prescott parcels that have been developed as subdivisions in the past several years have all been rezoned in some fashion from the original SF 35 zoning that was assigned to these properties as they were annexed to the City. They currently carry zonings from SF 9 to SF 35 PAD.

In our previous meetings with neighbors, the P&Z Commission and the City Council, three issues have surfaced that we would like to address, as follows: traffic, open space and density.

TRAFFIC ON SENATOR HIGHWAY AND MT. VERNON STREET

Our subdivision traffic will feed onto Senator Highway and South Mt. Vernon Street. There have been concerns expressed in the past over the increasing traffic on these two collector streets, hence the desire for the City to do a Southside Traffic Circulation Study, which, as mentioned, was completed in 2008.

The Study indicated that traffic on Mt. Vernon Street between Gurley Street and Carleton Street is currently "slightly to moderately congested", with average traffic volumes totaling 8,300 to 8,900 vehicles per day. The consultants project the traffic on these two blocks to increase about 1,000 vehicles per day by the year 2030, which will still be a "moderately congested" volume as per the consultants.

For traffic on the 300 block of South Mt. Vernon, which comes from Senator Highway, the consultant indicated that such traffic is currently "not congested", averaging 1,400 to 5,800 vehicles per day. For the year 2030, however, the consultants projected a huge increase daily traffic, estimating 22,000 vehicles per day on Senator Highway between Mt. Vernon Street and Haisley Road, an approximately ten fold increase. That will make such traffic "highly congested" as per the consultants.

We challenged this huge projected Senator Highway traffic increase in discussions with city officials and county officials. No one could give us a definite answer as to where these huge traffic projections came from. The final best answer was that they considered the current Yavapai County zoning south of Prescott (2 acre minimum) and assumed that every two-acre parcel would be developed with a house. The consultants failed to consider the fact that the vast majority of this land south of Prescott is owned by the Prescott National Forest Service and is not likely to be sold for development. To achieve that huge traffic increase they would have to cut down the forest and build a home on every two-acre parcel. The private land within the forest, such as Marapai Road area, Friendly Pines Camp area, Groom Creek Village, the Potato Patch and the Walker area,

has already been developed. There is very little private land left to develop south of Prescott, and most of that is private mining claims in deep canyons.

By reviewing the available lots in the current and planned South East Prescott subdivisions, as well as Yavapai County south of Prescott, we estimate a total potential housing stock that can be developed over the next generation to be 300-400 units, which will generate approximately 3,000 new vehicles per day. Such a traffic increase will still place Senator Highway traffic in the "slightly to moderately congested" category.

Whether you place more credence in the consultant's large traffic projections or our smaller numbers – the bottom line is this – our small subdivision will not make any significant difference in traffic on Senator Highway or Mt. Vernon Street. At full build out we estimate our subdivision traffic will be 1% to 2% of the total Senator Highway and Mt. Vernon Street traffic – hardly noticeable.

Also, the City is planning a major reconstruction of Senator Highway from Mt. Vernon Street to Nathan Lane. This project is currently under design and should be completed sometime within the next five years. Traffic counts, per the City Traffic Engineer, do not warrant a left turn lane on Senator Highway at Nathan Lane. Neighbors have expressed concern about the difficulty of exiting the highway when there is heavy traffic. We agree with their concerns and, as part of the development agreement, we will commit to pay for installation of a left turn lane on Senator Highway at Nathan Lane as part of the reconstruction project, at a cost not to exceed \$28,000.

TRAFFIC WITHIN THE SUBDIVISION

In our various meetings with our Foothills neighbors they have often expressed concern about increasing traffic on Nathan Lane, which they use to access Senator Highway. Their concern is for the increased traffic that will occur due to construction and the new home sites we have intended to build along Nathan Lane. In response to their concerns expressed in the recent neighborhood meeting, we have changed the road configuration and the lot layouts so that the six lots that would have fronted on Nathan Lane will now instead have access to the north, along Tenney Lane and Teeples Lane, respectively. This change in design will greatly reduce traffic on Nathan Lane, as no more than one lot will front on Nathan Lane.

We have also reconfigured Nathan Court, the new cul-de-sac at the south end of our subdivision so that it now accessed Nathan Lane and City Lights at the most visible spot rather than on the curve as previously indicated. This change should also help relieve traffic concerns of our neighbors in the Foothills.

OPEN SPACE

The question has been raised as to whether we should set 25% of our property as open space through a Planned Area Development (PAD) procedure. Both of our adjoining

subdivisions have provided open space. The open space in the Foothills subdivision is in the southeast corner of their property, up the canyon from most of the development. This property provides a connection from Acker Park to the Turley Trail in Government Canyon. The open space in the Summit Pointe Estates is in the south east corner of their property, on the steep hillsides adjacent to Haisley Road. This is their most difficult acreage to develop, and is separated by their more buildable parcels by Senator Highway.

We don't think it makes sense to set aside open space on our property. Our property is bordered by development on the east and west and doesn't connect to any landmark or trail on the south. On the north we border the city's 90 acre Acker Park. As part of the development agreement, in lieu of providing open space on our property, we propose to fund, in an amount of \$20,000, certain improvements in Acker Park to make the park more useable, especially for residents of the three south side subdivisions (the Foothills, the Homestead, and Summit Pointe Estates). We will pay for parking lot improvements at Penn Street and Autumn Breeze. We will also provide a shade structure with picnic table at Autumn Breeze. Finally, we will add to the park's trail system by providing a new "cemetery loop trail" with connections at the Homestead and Summit Pointe Estates.

DENSITY

The third issue deals with density. As previously mentioned, at the time they chose to develop, all subdivisions in South East Prescott, after they were annexed into the City, have applied for and received a change in their original SF 35 zoning. Most have been developed with ¼ to ½ acre lots.

Our most immediate neighbors have transitional zoning – SF 12 with PAD for the Foothills and SF 35 with PAD for Summit Pointe Estates. We desire to transitional zoning of SF 18. Such zoning will allow us to provide roughly ½ acre lots, which is very similar to our neighbors. The median lot size in the Foothills is 19,541 square feet and the median lot size in Summit Pointe Estates is 22,067 square feet. The lots that front our property on the east and west are smaller, as both developers have chosen to cluster their smaller lots in the most buildable areas.

In summary, our goal is to provide a quality subdivision consistent with the standards already set for the neighborhood by the Foothills Subdivision and the Summit Pointe Estates. We will develop Covenants, Conditions and Restrictions (CCR's) consistent with the neighborhood as well. We thank you in advance for your consideration of our request.

Cordially,



Carl Tenney, Agent

Item #9 Various Amendments to the LDC
Includes:

- Flag Lot Dimensions
- School in Industrial Light Districts
- Hotels and Motels in Industrial Light Districts
- Compact Parking Spaces for Multi-Family Projects
- Schools and Dormitories in the Industrial Light Zone
- Mobil Food Vendors

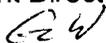
LDC Text Amendment

Flag Lot Dimensions

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
Meeting April 9, 2009

STAFF REPORT

TO: Planning & Zoning Commissioners

FROM: Tom Guice, Community Development Director 
George Worley, Assistant Director 

DATE: March 16, 2009

REQUEST: Text change modifying the allowable dimensions of flag lots, with conditions

Background:

Section 7.4.5.B.4 of the Land Development Code regulates minimum and maximum dimensions of Flag Lots. Among the requirements is a maximum allowance of 150 feet for the length of the pole portion of the lot. This distance was originally established in concert with the Fire Department to address Fire Department concerns about access to the structure. The concerns stemmed, in part, from limitations on the amount of fire hose carried by fire trucks and the frequency of long narrow driveways associated with flag lots. Single-family fire sprinkler systems were not in common use at the time this provision was included and the Fire Department did not yet have local code requirements to provide for additional fire apparatus access.

Requests for longer flag pole lengths have been handled by either variances or plat waivers by the City Council. A common condition applied by both the City Council and the Board of Adjustment in those situations has been to require homes on such flag lots to be fire sprinkled and/or adequate fire apparatus access to be provided. As a matter of interest, these same conditions are often required by the Fire Department for homes on code-compliant flag lots as well as non-flag lots where the homes are placed more than 150 feet from the street. Since the residential sprinkler systems and fire apparatus access has been used as mitigation for longer flag lengths a number of times in the past, and have been approved by the Fire Department, it would appear that this is an effective alternative.

UDC COMMITTEE RECOMMENDATION:

Staff presented suggested modifications to the language of Section 7.4.5.B.4 to allow for longer flag lots with Fire Department approved alternative fire safety measures, including residential fire sprinkler systems and/or approved fire apparatus accesses to the Unified Development

Code Committee (UDC). The UDC approved the following text modifications and recommended that staff forward these changes to the Planning & Zoning Commission for consideration:

Section 7.4.5.B. 4. Flag Lots

Notwithstanding other provisions of this Code to the contrary, flag shaped or panhandle shaped lots may be created in any zone if all of the following requirements are met (Refer also to Sec. 2.7.2D2.b) (attached):

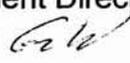
- a. The lot has at least 20 feet of frontage on a dedicated public or private street, which frontage serves as access only to the subject lot or parcel;
- b. The flagpole or panhandle portion of the lot shall be at least 20 feet in width;
- c. The ~~depth~~ length of the flagpole or panhandle shall ~~be~~ not exceed 150 feet as measured from the adjacent public or private street unless acceptable fire safety alternatives are provided. The Community Development Director shall consult the Fire Department prior to approving such alternatives;
- d. The flagpole or panhandle portion of the lot shall not be included in calculating lot size; and
- e. Flag lots may not be further subdivided following initial subdivision approval.”

Amendment to LDC Industrial Light Uses

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
Meeting April 9, 2009

STAFF REPORT

TO: Planning Commission Members

FROM: Tom Guice, Community Development Director 
George Worley, Assistant Director 

Date: March 16, 2009

Request: Amend LDC permitted uses in the Industrial Light (IL) district

BACKGROUND:

A proposal was submitted to the Unified Development Code Committee (UDC) several months ago to amend Table 2.3 of the *Land Development Code* to change the permitted uses of the Industrial Light (IL) district to permit by right K-8 and 9-12 schools in this district. Several requests have come from either K-12, private, charter or technical schools who would like to locate within the Industrial Light (IL) zoning district. Many IL zoned areas are actually developed as business/industrial parks that are much lower intensity than industrial developments in the heavier Industrial General districts. Because of the apparent desirability to locate various types of schools in business park developments (like the Centerpointe developments) the UDC considered and then recommended that the Use Table 2.3 be amended to permit both categories of schools in the IL district.

PROPOSED LANGUAGE:

1. No text amendments are necessary to accomplish the direction of the UDC. The table will be amended to indicate a P (for permitted) in the IL column for Schools, public or private, 9-12 and Schools, public or private, K-8.

STAFF RECOMMENDATION:

Staff recommends the Planning & Zoning Commission forward this amendment to the City Council with a recommendation for approval.

LDC AMENDMENT Hotel / Motel

Agenda # _____

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
STAFF REPORT
4/09/09 (Public Hearing)

TO: Planning Commission Members
FROM: Tom Guice, Community Development Director 
George Worley, Assistant Director 
Mike Bacon, Community Planner
DATE: April 1, 2009
SUBJECT: City Initiated Land Development Code Amendment for Hotels and Motels in IL
and IG Zoning Districts

REQUEST. City-initiated *Land Development Code* Amendment to allow hotels and motels in the IL (Industrial Light) and IG (Industrial General) Districts as a permitted use.

Background: Future development near the airport proposes new industrial designations and an amendment to the General Plan Land Use Map. High-density apartments, hotels and motels are currently allowed in the Industrial Transition (IT) zone (similar to high-density residential uses such as apartments), but not in the IL and IG zones.

STAFF ANALYSIS. Hotel and motel uses are generally held to be commercial uses and are generally found adjacent to airports; however, the LDC treats hotels and motels as residential uses similar to high-density apartments.

UNIFIED DEVELOPMENT CODE COMMITTEE RECOMMENDATION. The UDC Committee met on December 11 and determined that hotels and motels are a commercial type use (not a residential use as listed in the LDC Table 2.3). It also recommended that these hotel and motel uses should be permitted within the IL and IG zones in accordance with the following change to the LDC (see attached page):

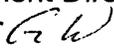
<p>SUGGESTED MOTION: Move to recommend approval of allowing motels and hotels in the IL and IG zoning districts.</p>

LDC AMENDMENT

Compact Parking Stalls

Agenda # _____

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING & ZONING COMMISSION
STAFF REPORT
4/09/09 (Public Hearing)

TO: Planning Commission Members
FROM: Tom Guice, Community Development Director 
George Worley, Assistant Director 
Mike Bacon, Community Planner
DATE: April 1, 2009
SUBJECT: City Initiated Land Development Code Amendment for Compact Parking Stalls

REQUEST. City-initiated *Land Development Code* Amendment to modify Section 6.2.5.C. to allow compact parking stalls for residential uses.

Background. The LDC currently allows compact parking for 'non-residential' (i.e. commercial) development (only) on page 6-5.

6.2.5.C Compact Parking

Up to 15 percent of the total number of required parking spaces for nonresidential development may be designated as compact spaces when clearly labeled.

STAFF ANALYSIS. Staff offers the opinion that residentially compact-sized vehicles utilize the same commercial compact-sized stalls. This proposed change would only affect low and high-density multi-family buildings parking, but not single-family detached homes. Because compact parking stalls are based upon a percentage (15%) of the total parking stalls, single-family detached homes only require 2 stalls and would not be affected by this change.

Standard parking stall size: 9' x 19'

Compact parking stall size: 7.5' x 16'

UNIFIED DEVELOPMENT CODE COMMITTEE RECOMMENDATION. The committee met on December 11 and recommended that residential compact parking stalls be allowed in accordance with the following change to the LDC: (strike out "for nonresidential development")

6.2.5.C Compact Parking

Up to 15 percent of the total number of required parking spaces ~~for nonresidential development~~ may be designated as compact spaces when clearly labeled.

<p>SUGGESTED MOTION: Move to recommend approval of the deletion of "nonresidential development" in Section 6.2.5.C.</p>
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LAND DEVELOPMENT CODE AMENDMENT
Schools and Dormitories
To be allowed by Conditional Use Permit
In the Industrial Light (IL) Zone

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
PLANNING and ZONING COMMISSION
STAFF REPORT
4/09/2009 Public Hearing

TO: Planning Commission Members

FROM: Tom Guice, Community Development Director *TG*
George Worley, Assistant Director *GW*
Steve Gaber, Community Planner

SUBJECT: Land Development Code Amendment, Modification to Land Use
Table 2.3 to allow Schools and Dormitories by Conditional Use Permit

INTRODUCTION:

City Staff has been working with representatives of a private flight training school in an effort to have the school locate on property located near the airport. The property is zoned Industrial Light (IL). The school would have facilities for 20 students per session/training period. The facilities are proposed to include dormitories. While the school would be permitted as a "Trade School" in this district the dormitories are not currently permitted.

In addition to the dormitory/flight training school mentioned above staff has participated in discussions with school administrators about a variety of schools and their potential for locating on property with IL zoning. The LDC currently prohibits such uses. These include;

- Charter school, 9-12 Centerpointe East
- Specialty school for autistic children, Centerpointe East
- Therapeutic Boarding School, 9-12, Airpark
- Trade/Vocational school, 9-12, Airpark

UNIFIED DEVELOPMENT CODE COMMITTEE REVIEW AND RECOMENDATION:

The UDC Committee reviewed this proposed amendment at their meeting on 12/11/08 and by unanimous vote recommends approval of the amendment as proposed.

SUGGESTED MOTION

Move to approve an the Modification to LDC USE TABLE 2.3 as follows;

1. Allow Dormitories by Conditional Use Permit in the IL Zone.
2. Allow Schools, Public or Private, K-8 and/or 9-12 by Conditional Use Permit in the IL Zone.

Mobile Food Vendors

Section 2.5.52

COMMUNITY DEVELOPMENT - PLANNING & ZONING DIVISION
STAFF REPORT
04/09/09 Regular Meeting

TO Planning Commission Members

FROM Tom Guice, Community Development Director *TG*
George Worley, Assistant Community Development Director *GW*
Wendell Hardin, Community Planner *WH*

DATE March 31, 2009

SUBJECT Modify Land Development Code to add Section 2.5.52 / Mobile Food Vendors

INTRODUCTION:

Recently, and in the past few years the City has had numerous requests for Mobile Food Vendors to place their carts throughout the city. The issue has been in finding suitable locations for such businesses. Each request has been handled on a case-by-case basis. While most requests have been for the Downtown Business District and few else where, placement has been difficult. The most successful vendors have been those who register with one of the city's annual festivals and in-turn purchases the right to participate in the festival. However, you will find that these vendors are usually temporary and located around the Courthouse Plaza for only the length of the festival.

When considering full-time mobile food vendors (coffee, pretzel, hot dog carts, etc.) they are typically addressed with the understanding they be tied to a principal structure to which they must be placed under roof. In addition to these requirements, the vendor must not block the public right-of-way or impede vehicular traffic. Beyond these conditions they must also adhere to all health department regulations.

Staff believes that it may be time to address mobile food vendors within Section 2.5 / Accessory Uses and Structures.

SUGGESTED ACTION:

Staff recommends the addition of Mobile Food Vendors to Table 2.3 / Permitted Use Table as a use under the category of 'Retail, Service and Business use Categories', see attached table modification. In addition, staff recommends that a new accessory use category be added to Section 2.5 / Accessory Uses and Structures, under the heading: Section 2.5.52 / Mobile Food Vendors, detail of recommended category attached as well.

Table 2.3

PERMITTED USE TABLE																						
SPECIFIC USE	RESIDENTIAL BASE ZONING DISTRICTS										NONRESIDENTIAL BASE ZONING DISTRICTS				Use Standards							
	RE-2 AC	SF-35	SF-18	SF-12	SF-9	SF-6	RT	MF-M	MF-H	SPC	RS	NOS	MU	RO		NOB	BG	BR	DTB	IT	IL	IG
Accessory Uses (see Sec. 2.5)																						
Mobile Food Vendors													C	C	C	P	P	C	P	P	P	2.5.52

Sec. 2.5 / Accessory Uses and Structures

Sec. 2.5.52 / Mobile Food Vendors

A two or four wheeled vehicle designed to carry foods and permitted by the County’s Health Department. Such vehicles shall not be self-propelled. The dimensions of such vehicles shall not exceed: 8 feet by 5 feet for a total of 40 square feet of footprint. Umbrellas shall not be greater than six feet in diameter. All mobile food vendors are subject to the following standards:

- A. Mobile Food Vendors are only allowed to operate on private property of an existing operating business.
- B. Mobile Food Vendors must either be located adjacent to the principal structure or within the confines of the parking lot of the existing business.
- C. Mobile Food Vendors shall require a Conditional Use Permit according to Sec. 9.3. / Conditional Use Permits with the exception of those mobile food vendors operating within those Zoning Districts identified as a permitted use in Table 2.3. / Permitted Use Table.
- D. Mobile Food Vendors shall not operate within the public Right-of-Way.
- E. Mobile Food Vendors shall not encroach into any parking spaces required by the existing business and shall not impede vehicular circulation within the parking area of that business.
- F. Mobile Food Vendors signs shall be an integral part of the vending cart with lettering not exceeding ten inches in height. Only the name of the vendor or the vending company, the products offered, and the price of the products shall be included on the sign.
- G. Mobile Food Vendors signs shall not be internally illuminated or make use of flashing or intermittent lighting, animation, or noisemaking devices. Graphic illustrations shall display only the products being offered.

- H. Mobile Food Vendors shall keep the area within 15 feet of the location of the vending cart free from all litter and debris resulting from the operation.
- I. Mobile Food Vendors shall maintain a clearly marked trash container near their cart for litter. Use of public trash receptacles for this purpose is prohibited.
- J. Mobile Food Vendors shall not sell to vehicular traffic at any location.